



PLANNING & ZONING COMMISSION

June 10, 2025, at 7:00 PM
250 River Circle - Alpine, WY 83128

AGENDA

1. CALL TO ORDER:

2. ROLL CALL & ESTABLISH QUORUM:

3. TONIGHT'S APPOINTMENTS/ NEW BUSINESS:

- a. KOVAC, DUSTIN, AND MAEVE: Lot #312 Lakeview Estates, 166 Stoor Dr. (MC-0425-0002)- Retaining Wall
- b. AFFITTAMI, LLC AKA AUTO SERVICES ELEVATED (KRESAN, KATIE); Lot#3 Elk Meadows, 119 Sagebrush Ln. (C-0525-0003)- Commercial Building, Office, and Employee Apartments
- c. VIGNAROLI, ANY, AND ROBERT: Lot #15 Palis Park, 180 Canyon View Dr. (R1-0625-0001)- Single-family Residential (Modular)

4. TABLED ITEMS:

- a. EPLIN, CHERI: Lot #220, Lakeview Estates A, 672 Sunset Dr (R1-0425-0001) – New single-family residence
- b. KURT LINFORD DDS: Lot #302 Riverview Meadows – Encroachment Application for parking lot

5. UNFINISHED/ONGOING BUSINESS:

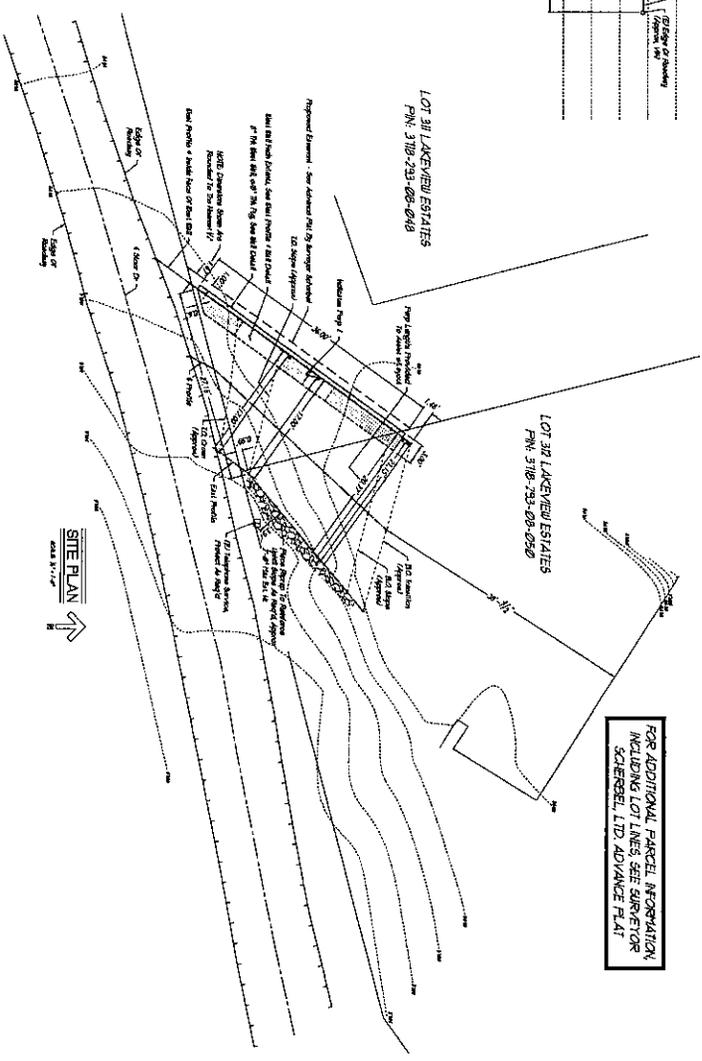
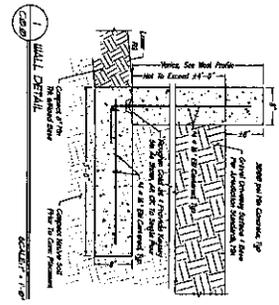
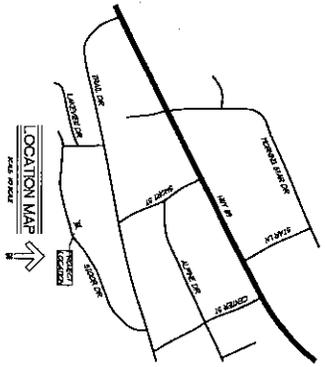
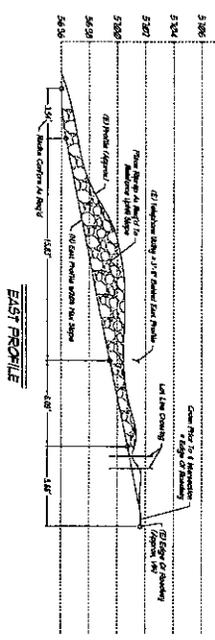
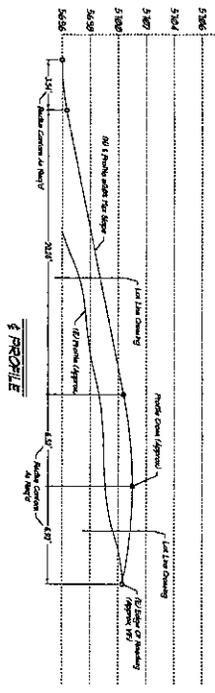
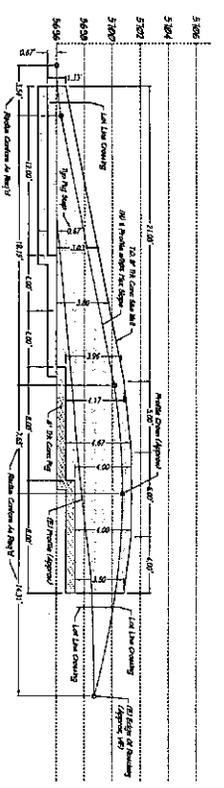
6. PLANNING/ZONING CORRESPONDENCE:

7. APPROVAL OF MINUTES:

- a. Meeting Minutes May 13, 2025

8. TOWN COUNCIL ASSIGNMENT:

9. ADJOURN MEETING:



PROJECT DESCRIPTION
 This project is intended to provide a driveway relocation for the existing driveway at 166 Stoor Drive, Alpine, Wyoming. The project includes the relocation of the driveway to a new location, the construction of a new driveway, and the relocation of the driveway to a new location. The project is intended to provide a driveway relocation for the existing driveway at 166 Stoor Drive, Alpine, Wyoming.

FOR ADDITIONAL PARCEL INFORMATION INCLUDING LOT LINES, SEE SURVEYOR SCHEMEL, LTD. ADVANCE PLAN

	<p>166 STOOR DRIVE DRIVEWAY RELOCATION</p> <p>166 STOOR DRIVE ALPINE, WY 83128</p>	<p>COVERAGES:</p> <p>PC Deck Above Paved Area 8' x 10'</p>	<p>DATE: 02 JUL 2024</p> <p>SCALE: AS SHOWN</p> <p>DRAWN BY: TMM</p> <p>CHECKED BY:</p> <p>PROJECT NUMBER:</p>	<p>1 OF 1 SHEETS</p> <p>COO.PDF, MAJOR.PDF, COO.DWG</p>



Town of Alpine

MINOR CONSTRUCTION

PERMIT APPLICATION

All information is
DUE IN THE TOWN OFFICE NO LATER
than **4:00 pm** on the **1st & 3rd** Mondays of the month.

P&Z Commission meets on the 2nd & 4th Tuesdays of the month
(During the months of May – October) at 7:00 pm.

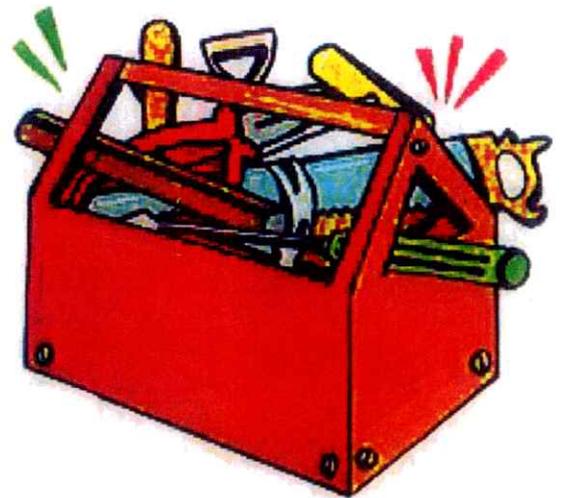
P&Z Commission meets on the 2nd Tuesday of the month
(During the months of November – April) at 7:00 pm.

Complete permit application in its entirety -- any one of the steps warrants an invalid permit application.

Applications are valid for 90 days from the date submitted to the Town Office.

There are **no refunds** on
building application fees

***A representative must be
present at the P&Z Meeting
for your permit to be
approved!***





**Minor Construction
Permit Application**

Section 3, Item 4.

INFORMATION TO BE PROVIDED BY APPLICANT ~ ALL BLANKS MUST BE FILLED IN

PROJECT NAME:

Physical Address:	166 Stoor DR
Legal Description (Lot # and Subdivision):	Lakeview Estates Lot 312
Estimated Valuation of Work:	
Description (Intent of Permit):	Relocate the driveway to within the new by easement. Including retaining wall + backfill

APPLICANT/CONTRACTOR/CONSULTANTS:

Owner:	Maeve McKovac + Dustin Kovac	Phone:	970-819-2875	
Mailing Address:	PO Box 3984 Alpine WY			
Contractor:	None yet	Phone:		
Mailing Address:				
Electrical Contractor:		Phone:		
Mailing Address:				
Plumbing Contractor:		Phone:		
Mailing Address:				
Mechanical Contractor:		Phone:		
Mailing Address:				
Authorized Representative if different from Owner:				
Signature of Owner or Authorized Representative:			Date:	4/17/25

FOR USE BY TOWN:

Date Received:	Permit #:	Use Zone:
	MC-0425-0002	
Permit Fees:	Paid Fees: (Check#/Cash)	Date Paid:

TOWN OF ALPINE MINOR CONSTRUCTION CHECKLIST

Please place a check mark on all lined items and initial the bottom of all pages, as requested

- There will be NO guarantees of being on the following P & Z Agenda if...

- o You wait until the deadline day for turning in your paperwork or;
- o If your Minor Construction packet is not complete or;
- o Your Review is found to be incomplete or not approved by the Town Building Official.

Owner: Dustin Kovac & Maeve McKovac Phone #'s: 970.819.2875 / 503-927.0553

Lot#/Subdiv. Lakeview Estates Lot 312 Physical Address: 166 Stoor Dr

You may submit your Building Application Packet by: Mail: PO Box 3070, Alpine, WY 83128
Person: 250 River Circle, Alpine, WY 83128

Please Complete:

- o ALL information is filled out and submitted as requested by the Town of Alpine
- o **ALL** Contractors/Subcontractors obtained a **Town of Alpine Business License**
- o Requested Water and Sewer Main Locates prior to ANY digging (Owner's Responsibility)
- o Requested all other utility (electrical, phone, cable, etc) lines located prior to ANY digging (Owner's Responsibility)
- o Must have written approval from Homeowner's Association on Building Plans (if Applicable)

The following items fall under a minor construction permit: (Please circle which one(s) applies to your application)

- Sheds which contain **less** than 300 sq. ft., of total floor area without Plumbing or Electrical; - (See Shed Affidavit)
- Sheds which contain **more** than 300 sq. ft., but **less** than 400 sq. ft., of total floor area with or without Plumbing or Electrical;
- Re-Roofing Applications:
 - o Replacement of existing roofing materials;
 - This could include any and all materials that increase or decrease existing roof load;
 - o Addition of roofing layers (Any and all materials that increase existing roof load);
 - o Change in under sheeting materials;
- Construction of Deck - (See Deck Affidavit)
 - o Addition of stair, dimensions and/or alterations to existing deck and/or building/structure
- Construction of perimeter fences - (See Fence Affidavit)
- Installation of new propane/gas storage tanks (including underground propane tanks)
- Plumbing Additions or Adjustments (improvements) to Commercial Buildings
- Electrical Additions or Adjustment (improvements) to Commercial Buildings
 - o Completed Plan Review Check List- (State Department of Fire Preventions & Electrical Safety)
- Replacing doors and/or windows when dimensions are increased in size and/or changes egress
 - o **Note - A Wyoming Certified Engineered Stamp Drawing will be required -**
- Utility Improvements and/or Changes - (ex. Wood to Gas, Electric to Propane, etc.) (See Stove Affidavit)

GETTING A MINOR CONSTRUCTION PERMIT:

_____ Minor Construction Permit Application Completed and Signed

Initials:

- Minor Construction Checklist Completed and Signed
- Fees, which **MUST** be paid when submitting Minor Construction Permit Application:
*****See Fee Schedule ** all fees are non refundable**
- Site Preparation is Complete (Property Corners Identified and Clearly Marked) **{If Applicable}**

#3 - TOWN RESPONSIBILITIES:

- Town Building Official approves plans, by conducting a complete plan review;
- Planning & Zoning Board approves Minor Construction Permit.
- Town Building Official verifies and approves the site plan by conducting an on-site inspection;**

YOUR MINOR CONSTRUCTION PACKET MUST INCLUDE: (as applicable)

Site plan on 11 x 17 paper containing:

- Blueprints (Drawings);
- Setback distances;
- Property Line & measurements according to surveyor's dimensions;
- Location & Dimensions of **ALL** buildings (home, garage, etc.), property lines, location of septic system, roads & easements;
- Detailed Utilities and Electrical Plan connections to the structure (water, sewer, power, telephone, propane tank, etc) *(*Ensure they are not located underneath driveways)*
- Detailed Roof Plan
- Building Material Used and Application of Material
- Installation Factor for Windows and Doors
- Sketch proposed fencing, driveways, green space, and snow removal areas (if appropriate)
- Engineered Plans, Plan Calculations & Truss Calculation from a Wyoming Licensed Engineer
- Read Propane Tank Regulations (if applicable) Chapter 38 of IFC
- Application for State of Wyoming Department of Fire Prevention & Electrical Safety

ON-SITE SETBACK INSPECTION: (as applicable)

- Clearly string & stake the EXACT dimensions of where the proposed project is **(*Dimensions on the ground MUST MATCH your 11 x 17 Site Plan);**
- Property stakes: All property monuments/surveyor pins must be exposed and visible.
**Wooden stakes without Surveyors Monuments will not be accepted.*

CERTIFICATE OF COMPLETION:

Upon completion; please contact the Town Office to **schedule a final inspection** once completed and approved by the Town Building Official you will receive your Certificate of Completion

***For more thorough information and instructions:**

Refer to the IBC/IRC and/or the Town of Alpine Land Use and Development Codes

Yes, I received and understand all items on the Permit Checklist



Signature

4/17/25

Date

FOR USE BY TOWN:

Received by:

Date:

Initials:

Gina Corson

From: Dee Rammell
Sent: Tuesday, April 29, 2025 3:29 PM
To: Christine Wagner
Cc: Gina Corson
Subject: Re: Retaining Wall - 166 Stoor Drive

Since this is a retaining wall for an access road, this review would be better served with Jorgensen.
Thanks.

Dee J. Rammell, PE, PMP
Building Official
Town of Alpine



(307) 413.0343

From: Christine Wagner <planning@alpinewy.gov>
Sent: Tuesday, April 29, 2025 9:25 AM
To: Dee Rammell <buildingofficial@alpinewy.gov>
Cc: Gina Corson <office2@alpinewy.gov>
Subject: Retaining Wall - 166 Stoor Drive

DJ:

Please find the attached minor construction permit application for a retaining wall project, located on the hill on the south side of Town. Property address is known as: 166 Stoor Drive, Lot #312 of the Lakeview Estates Subdivision.

I have also attached Driveway Layout & Profiles as prepared by: Merritt Mavy.

Please let us know what you think and if there needs to be any additional documents and/or corrections to the application and/or engineering documents.

Thanks and Have a Great Day!
Christine Wagner
Planning & Zoning Administrator
Town of Alpine



(307) 654-7757, Ext. #7

<https://www.alpinewy.gov>

E-mail to and from me in connection with the transaction of public business is subject to the Wyoming Public Records Act and may be disclosed to third parties.



CODE REVIEW SUMMARY (2024 IBC CHAPTERS 3-6)

NEW CONSTRUCTION	PROPOSED OCCUPANCIES	CONSTRUCTION TYPE	ALLOWABLE BUILDING HEIGHT		ALLOWABLE STORIES ABOVE GRADE PLANE		ALLOWABLE AREA (PER FLOOR)		SEPERATION OF OCCUPANCIES	SEPERATION REQUIRED	SPRINKLER REQUIRED
			ALLOWED	PROPOSED/ EXISTING	ALLOWED	PROPOSED	ALLOWED*	PROPOSED/ EXISTING			
YES	BUSINESS B AND STORAGE S1 AND RESIDENTIAL R2	III-B	55'	APPROX. 37'	2	2	16,000 SQFT.	3,000 SQFT.	S1/B TO R2	1 HR	NFPA13R

NOTE: MOST RESTRICTIVE OF COMBINED LIMITATIONS SHOWN

AUTO SERVICE ELEVATED

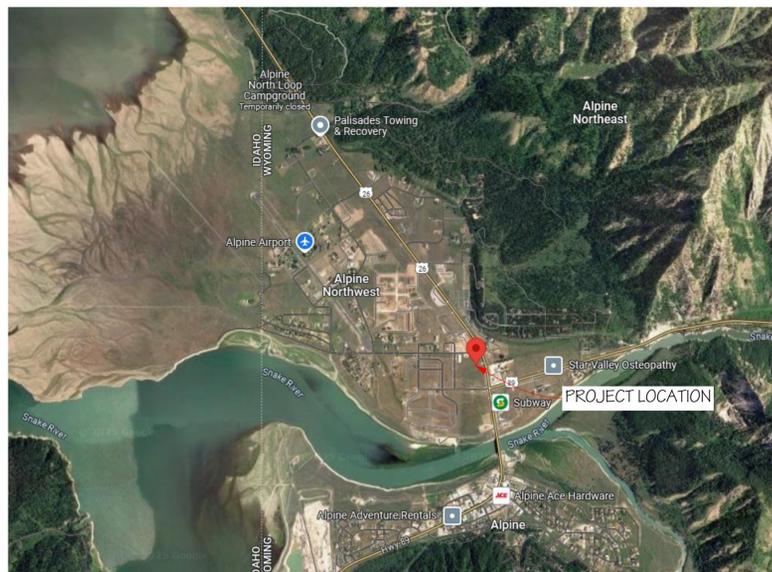
AFFITTAMI LLC

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43.174119, -111.020047

VICINITY MAP
NOT TO SCALE

FINISHED SQUARE FOOTAGE	
ID	AREA
MAIN LEVEL SHOP/OFFICE	2,994
TENANT AREA 1	1,092
TENANT AREA 2	813
TENANT AREA 3	1,096
	5,995 ft ²

UNFINISHED SQUARE FOOTAGE	
ID	AREA
EXTERIOR BALCONY	268
STORAGE LOFT OVER STORAGE	144
STORAGE LOFT OVER OFFICE	433
	845 ft ²

LOCATION:	ALPINE, WYOMING
ROOF SNOW:	96 PSF
GROUND SNOW:	137 PSF
WIND SPEED:	115 MPH
EXPOSURE:	C
FROST DEPTH:	36
SEISMIC:	D
Ss	1.09
S1	0.3
SDS	0.88
SD1	0.51
REGULATION:	IBC 2024

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

South Fork Design Group, LLC
127 E. Main St, Suite 111
Rexburg, ID 83440
www.southforkdesign.com
208-852-6236

Professional Engineer
RICHARD D. SEAMONS
13700
WYOMING

REVISION DATE	DESCRIPTION

G-101
PLN# 25-01-00 9

CODE STUDY: AUTO SERVICE ELEVATED ALPINE

PROJECT: AUTO SERVICE ELEVATED ALPINE

LOCATION: ALPINE, WYOMING

CODE STUDY BY: BLAKE WALKER SOUTH FORK DESIGN

Basic Building Description

- Construction Type:** IIIB
- Sprinkler System:** NFPA 13R installed (IBC 903.3.1.2)
- Area/Height Approach:** Uses separated by fire barriers; allowable area based on sum of ratios (IBC 508.4.2); height checked for each area (IBC 508.4.3).

Address Identification (IBC 502.1)

- Approved address identification required, visible from the street.
- Characters:** Arabic numbers or letters, minimum 4 inches high, 0.5 inch wide.
- Contrast:** Installed on a contrasting background.
- Visibility:** If not visible from the public way due to private road access, a monument, pole, or other approved sign is required.
- Additional locations may be required by the fire official.

Site Description & Frontage Calculation (IBC 506.3.2, 202)

Side	Boundary	Distance to Boundary (ft)	Length of Perimeter (ft)	Accessible (Street/Fire Lane)?
North	Lot Line	41.0	60.0	Yes
East	Lot Line	47.0	50.0	No
South	Lot Line	25.0	60.0	No
West	Lot Line	53.0	50.0	No
		Total Perimeter:	220.0	

- Perimeter Fronting Public Way/Accessible Space:** 60.0 ft
- Basic for Frontage Increase:** Smallest open space \geq 20 ft is 41.0 ft (North side).
- Percent of Perimeter with \geq 20 ft Open Space:** (60.0 / 220.0) = 27.3%
- Allowable Area Increase due to Frontage:** 25.00% (IBC 506.3.3)

Building Height & Area Summary

Height (IBC 504.3, Table 504.3)

Parameter	Value	Status
Actual Height	37.17 ft	
Allowed Height	55.00 ft	OK (Actual height is within allowed)

Overall Area (IBC 502.1, 506)

Parameter	Value	Notes
Total Building Area	6,000.0 sq.ft	
Building Allowed Area	40,000.0 sq.ft	Includes 25% frontage increase (IBC 506.3)
Building Area Ratio	0.14	(5514 / 40000) - OK

- Allowable area calculations based on Tables 504.3, 504.4, 506.2 and Section 506.
- Allowable stories based on Table 504.4 and Section 504.
- Uses separated by fire barriers (IBC 508.4); max floor area per use based on Table 504.4.

Building Interior Analysis

2nd Floor Areas

Area	Occ. Grp	Actua l Area (sq.ft)	Allowe d Area (sq.ft)	Area Ratio	Occup ant Load	Min.E xits Req.	Exits Provided	Exit Status	Min. Wid th (in)	Wid th on Prov. (in)	Wid th on Stat. (in)	Comm Path et (ft)	Max al Trav el (ft)	Acti al Trav el (ft)	Carri d or? s	
Apartm ent 1	R2	1,023.00	20,000.00	0.05	5.1 (1)	1	1	1	1	1	1	1	115.00	200.00	115.00	OK No
Apartm ent 2	R2	769.00	20,000.00	0.04	3.8 (1)	1	1	1	1	1	1	1	114.00	200.00	114.00	OK No
Apartm ent 3	R2	1,023.00	20,000.00	0.05	5.1 (1)	1	1	1	1	1	1	1	123.00	200.00	123.00	OK No
2nd Floor Total	-	2,815.00	20,000.00	0.14	14.1	3	3	3	3	3	3	3	200.00	123.00	200.00	OK No

Notes for 2nd Floor Table: (1) Based on 200.0 sq.ft/occupant (IBC T 1004.5) (2) Based on IBC 1006.2.1 & Table 1006.2.1 (3) Based on IBC 1005.3.2 (Other egress components) (4) Common path of egress travel ok per IBC 1006.2.1 (5) Max exit access travel distance per IBC Table 1017.2 (6) Min Door Width = 2.8 in (1005.3.2), Min Stair Width = 4.2 in (1005.3.1)

- Egress Doors:** Pivoted/side-hinged swinging type required (IBC 1010.1.2). May swing either direction within dwelling units (IBC 1010.1.2.1, Ex 4). Manually operated horizontal sliding doors allowed for occupant load \leq 10 (Ex 9).
- Exit Signs:** Required for exits/exit access doors (IBC 1013.1).

1st Floor Areas

Area	Occ. Grp	Actua l Area (sq.ft)	Allowe d Area (sq.ft)	Area Ratio	Occup ant Load	Min.E xits Req.	Exits Provided	Exit Status	Min. Wid th (in)	Wid th on Prov. (in)	Wid th on Stat. (in)	Comm Path et (ft)	Max al Trav el (ft)	Acti al Trav el (ft)	Carri d or? s	
Office B		324.00	23,750.00	0.01	2.2 (7)	1	1	1	1	1	1	1	10.00	200.00	32.00	OK No
Shop S1		2,278.00	21,875.00	0.10	39.6 (9)	2	2	2	2	2	2	2	114.00	200.00	114.00	OK No
Stora ge S1		97.00	21,875.00	0.00	1.0 (10)	1	1	1	1	1	1	1	16.50	200.00	38.00	OK No
1st Floor Total	-	2,699.00	22,084.00	0.12	42.8	2	2	2	2	2	2	2	20.00	16.50	57.50	OK No

Notes for 1st Floor Table: (3) Based on IBC 1005.3.2 (Other egress components) (4) Common path of egress travel ok per IBC 1006.2.1 (5) Max exit access travel distance per IBC Table 1017.2 (7) Based on 150.0 sq.ft/occupant (IBC T 1004.5) (8) Based on IBC 1006.2 (9) Based on 57.5 sq.ft/occupant (IBC T 1004.5) (10) Based on 300.0 sq.ft/occupant (IBC T 1004.5) (11) Floor allowed area calculation per IBC 506. (12) Based on IBC 1006.3.3

- Egress Doors:** Pivoted/side-hinged swinging type required (IBC 1010.1.2). May swing either direction (IBC 1010.1.2.1). Manually operated horizontal sliding doors allowed for occupant load \leq 10 (Ex 9).
- Exit Signs:** Not required for Office or Storage (IBC 1013.1). Required for Shop (IBC 1013.1). Not required for overall floor egress path (IBC 1013.1).

Egress Details & Requirements

(Note: Code references are from 2021 IBC unless noted otherwise)

Exit Width (1005)

- Calculation basis depends on component (Stairs: 1005.3.1; Other: 1005.3.2).
- Loss of one means of egress cannot reduce capacity by $>$ 50% (1005.5).
- Minimum door width per 1010.1.1.

Egress Continuity & Separation

- Path of egress shall not be interrupted (1003.6).
- Where 2 exits required, minimum separation is 1/2 diagonal of area (measured straight line), with exceptions (1007.1.1).

Illumination (1008.2)

- Means of egress illuminated when space occupied (Exemption: Dwelling/sleeping units).
- Minimum 1 foot-candle at walking surface.
- Illumination required along exit discharge path to public way.
- Emergency power requirements per 1008.3.

Doors (1010)

- Type:** Pivoted or side-hinged swinging required (1010.1.2).
 - Exceptions:** Dwelling units (Ex 4), Occupant Load \leq 10 (Manual sliding - Ex 9), Revolving (Ex 5), Compliant Horizontal Sliding (Ex 6), Power-operated (Ex 7).
- Swing Direction:** Generally towards egress travel for Occupant Load \geq 50, or in Group H, May swing either way in dwelling units (1010.1.2.1).
- Landings:** Required on each side of door, same elevation (within 1/2" threshold difference) (1010.1.4, 1010.1.6). Width \geq door/stair width. Length min 44" in direction of travel if load \geq 50 (1010.1.5). Space between doors in series: 48" + swing width (1010.1.7).
- Additional Doors:** Must comply with Section 1010 if provided for egress (1010.1).

Locks & Latches (1010.2)

- General:** Readily openable from egress side without key/special knowledge/effort (1010.2). Single motion to unlatch (1010.2.1).
- Prohibited:** Manual flush/surface bolts (1010.2.5), except inactive leaf of pair in storage/equipment room (Ex 2) or doors not required for egress in dwelling units (Ex 1).
- Permitted in Dwelling/Sleeping Units (Load \leq 10):** Night latch, deadbolt, security chain if openable from inside without key/tool (1010.2.4 #5, 1010.2.5 Ex 1).
- Closets:** Must be openable from inside if they latch (1010.2.6).
- Permitted Locking (where operation prevented):** Includes automatic flush bolts on pairs (inactive leaf has no knob/hardware) (1010.2.4 #4), fire doors after temp disables unlatching (1010.2.4 #6), roof access doors (1010.2.4 #7), certain court doors (1010.2.4 #8), dwelling/sleeping unit balconies/decks (1010.2.4 #9), small private office balconies/decks (1010.2.4 #10).

Stairways (1011)

Feature	Within Dwelling Units	Other Stairways	Code Ref (Other)
Min. Width	N/A	44 inches (36" if Occ Load \leq 50; 48" clear if accessible egress route)	1011.2, 1009.3.2
Max Riser Height	N/A	7 inches	1011.5.2
Min Riser Height	N/A	4 inches	1011.5.2
Min Tread Depth	N/A	11 inches	1011.5.2
Riser Type	May be open	Solid Required	1011.5.5.3
Max Variation	N/A	3/8 inch (per flight)	1011.5.4
Handrails	N/A	Both sides required	1011.11
Handrail Height	N/A	34-38 inches	1014.2
Handrail Grip	N/A	Type I: 1.25"-2" dia circle, or equiv. grasp	1014.3.1
Handrail Continuity	N/A	Continuous, no obstructions; Return/extend	1014.4, 1014.6
Headroom	N/A	80 inches min	1011.3
Under Stair Space	N/A	N/A	1011.7.3
Landings	N/A	Top & Bottom req'd; Dim=Width (48" max if straight run)	1011.6
Max Rise/Flight	N/A	12 feet	1011.8

Guards (1015, 1607.9)

- Required:** Open sides of walking surfaces $>$ 30" above floor/grade (1015.2).
- Min Height:** 42 inches (Exceptions: 36" within dwelling units (Ex 1); 34-38" if top rail is stair handrail within dwelling unit (Ex 2)).
- Strength:** Resist 50 plf top load, 200 lb concentrated load. Intermediate rails resist 50 psf over 1 sq.ft. (1607.9, ASCE 7.4.5.1).
- Openings:** Block passage of 4" sphere (Exceptions: 4 3/8" sphere allowed between 36-42" height (Ex 1); 6" triangle at riser/tread/guard (Ex 2); 4 3/8" sphere on stair sides within dwelling units (Ex 6); 21" sphere in certain non-public areas (Ex 4)).

Emergency Escape and Rescue Openings (1031)

- Required:** Group R-2 occupancies in stories with only one exit (where permitted by T1006.3.4(1)&(2)) (1031.2 #1).
- Location:** Open directly to public way or yard/court opening to public way (1031.2).
- Size:** Min 5.7 sq.ft clear area (5.0 sq.ft at grade floor); Min 24" clear height; Min 20" clear width (1031.3).
- Height:** Bottom of opening max 44" above floor (1031.3.3).
- Operation:** Operational from inside without keys/tools, including bars/grilles (1031.2.1).

Accessibility (IBC Chapter 11, ICC A117.1-2009)

General

- Entrances:** At least 60% of public entrances accessible (1105.1). At least one accessible entrance to each tenant/dwelling/sleeping unit (1105.1.7).
- Parking:** Accessible spaces per Table 1106.1 required if parking provided (1106.1). Additional rules for outpatient/rehab facilities (1106.3, 1106.4).
- Route:** At least one accessible route connecting accessible levels (1104.4). Must coincide with general circulation path (1104.5).
- Drinking Fountains:** Where provided, \geq 2 required: one for wheelchair users (\leq 36" spout height), one for standing persons (38-43" spout height), unless single unit meets both (1109.5.1). If $>$ 2 provided, \geq 50% accessible (1109.5.2). Spout location reqs (A117.1 602.5), min 4" flow height (A117.1 602.6).

Toilet Facilities (A117.1)

- Turning Space:** 67" diameter or T-shaped space required (603.2.1, 304.3). Doors cannot swing into fixture clear floor space (exception for single use) (603.2.2).
- Water Closet:** 16-18" centerline from adjacent side wall/partition (604.2). Seat height 17-19" (604.4).
 - Clearance (No Compartment):** 60" min perpendicular to side wall, 56" min perpendicular to rear wall (604.3.1).
 - Compartment:** 60" wide min; 56" deep min (wall hung) or 59" deep min (floor mount) (604.9.2.1).
- Grab Bars:** 1.25-2" diameter, 1.5" space from wall (609.2, 609.3). Mounted 33-36" high (609.4). Side bar: 42" min length, start \leq 12" from rear wall, extend to 54" from rear wall (604.5.1). Rear bar: 24" min length (36" preferred), centered on WC (604.5.2).
- Urinals:** Stall type or wall hung, rim \leq 17" high (605.2).
- Lavatories:** Rim \leq 34" high (606.3). Pipes insulated/protected (606.6).
- Sinks:** \leq 11" deep (606.5).
- Mirrors:** Bottom edge \leq 40" above floor if over lav/sink/counter (603.3).

Additional Toilet Requirements (IBC 2902)

- Public facilities required for public utilization areas. Route cannot pass through kitchens/storage (2902.3, 2902.3.1).
- Cannot open directly into food prep areas (2902.3.2).
- Max travel distance 500 ft (2902.3.3). Directional signage required (2902.4.1).
- Multi-occupant room egress doors not lockable from inside (exception: family/assisted use) (2902.3.6).
- Separate facilities per sex generally required (exceptions for low occupant loads in specific occupancies, dwelling units, single-user rooms) (2902.2).
- Fixture location/partitions per IBC 2903.

Fire Resistance & Separation

Exterior Walls (IBC 705, Tables 601, 705.5, 705.8)

Side	Fire Sep. Grp	Bearing Wall Rating (hr)	Non-Bearing Wall Rating (hr) (Inside Face)	Parapet Req'd? (705.11)	Max Unprotected Openings (%)	Max Protected Openings (%)	Projections Limit (to FSD line)	Combustible Projections Limit (within 5 ft of FSD line)
R2, North S1, B	41.0	2	0	Bearing: Yes; Non-B: No (Ex 1)	No Limit	No Limit	Cannot extend closer than 40" (T705.2)	Must be noncombustible, 1-hr rated, T&HT, or FRP Wood (705.2.3)
R2, East S1, B	47.0	2	0	Bearing: Yes; Non-B: No (Ex 1)	No Limit	No Limit	Cannot extend closer than 40" (T705.2)	Must be noncombustible, 1-hr rated, T&HT, or FRP Wood (705.2.3)
R2, South S1, B	25.0	2	0	Yes (or roof protection) (Ex 4)	70%	No Limit	Cannot extend closer than 40" (T705.2)	Must be noncombustible, 1-hr rated, T&HT, or FRP Wood (705.2.3)
R2, West S1, B	53.0	2	0	Bearing: Yes; Non-B: No (Ex 1)	No Limit	No Limit	Cannot extend closer than 40" (T705.2)	Must be noncombustible, 1-hr rated, T&HT, or FRP Wood (705.2.3)

Building Element Fire Resistance (Construction Type IIIB - Table 601)

Building Element	Min. Fire-Resistance Rating (Hours)	Material Notes
Exterior Walls	See Exterior Walls table above	-
Primary Structural Frame	0	Any material
Interior Bearing Walls	0	Any material
Interior Nonbearing Walls	0	Any material
Floor/Ceiling Assembly	0	Any material
Roof/Ceiling Assembly	0	Any material
Shaft Enclosure	1	Any material
Stairs	0	Any material

Occupancy Separation (IBC 508.4, Table 508.4)

Separation Between	Required Fire Barrier Rating (hr)	Required Opening Protection (hr) (Table 716.1(2))
R2 and S1	1	NA
R2 and B	1	NA

- Accessory Occupancies:** No separation required if \leq 10% of story area and within tabular limits (508.2.3, 508.2.4).

Incidental Use Separation (IBC Table 509.1)

Area	Separation Requirement
Furnace Room ($>$ 400k BTU/hr input)	1 hour OR Sprinkler System
Boiler Room ($>$ 15 psi & 10 hp)	1 hour
Refrigerant Machinery Room	1 hour OR Sprinkler System
Hydrogen Cut-off Room (not Group H)	2 hour
Incinerator Room	2 hour AND Sprinkler System
Paint Shop (not Group H)	2 hour OR 1 hour + Sprinkler System
Laundry Room $>$ 100 sq.ft	1 hour OR Sprinkler System (<i>Note: Text lists 1 hour separately too - verify</i>)
Waste/Linen Collection Room $>$ 100 sq.ft	1 hour OR Sprinkler System

Dwelling Unit Separation (IBC 420, 708)

- Walls:** 1-hour fire partitions required (420.2, 708.3). Extend foundation/floor below to underside of floor/roof deck above (708.4). Supporting construction protection generally required (708.5).
- Floors:** Horizontal assemblies required (420.3). Minimum 1-hour rating (Implied by Table 601/711 - confirm specific req.).

Smoke Barriers (IBC 709, 710)

- Required rating: 1 hour (709.3).
- Must be continuous membrane (wall-to-wall, floor-to-deck/slab above) (710.4).
- Opening requirements per 710.5.

Marking and Identification (IBC 703.5)

- Fire walls/barriers/partitions, smoke barriers/partitions require permanent identification in accessible concealed spaces (within 15ft of ends, max 30ft intervals).

Penetrations of Fire-Resistive Assemblies (IBC 714)

- General:** Must use tested systems or approved firestop systems (714.4.1, 714.5.1).
- Walls (Through):** Exceptions for certain steel/ferrous/copper pipes/conduits (714.4.1.2 Ex).
- Walls (Membrane):** Same requirements. Exceptions for certain steel boxes (size/spacing limits), listed boxes, sprinkler escutcheons (714.4.2 Ex).
- Floors/Roofs (Through):** Firestop rating \geq 1 hr and \geq floor rating (714.5.1.2). Exceptions for certain pipes/conduits through single concrete floor, tested outlet boxes (714.5.1.2 Ex).
- Floors/Roofs (Membrane):** Same requirements. Exceptions for certain pipes/boxes through concrete/masonry, tested outlet boxes, sprinkler escutcheons (714.5.2 Ex).

Ducts and Air Transfer Openings (IBC 717)

- Dampers required where ducts penetrate fire walls, fire barriers, shaft enclosures, fire partitions, smoke barriers (717.5). Must be accessible (717.4).

Draftstopping (IBC 708.4.2)

- Required above/along fire partitions if they don't extend to deck/floor above.
- Attic Exceptions:** Not needed if $<$ 4 dwelling units (Ex 3); Divide space into \leq 3000 sq.ft areas or above every 2 units (smaller prevails) (Ex 4). If corridor walls separate units, only needed above one corridor wall (Ex 2).
- Floor/Ceiling Exceptions:** Similar exceptions apply if partition doesn't extend to floor above (Ex 2, Ex 3).

Fire Protection Systems

Automatic Sprinkler Systems (IBC 903)

- Required Conditions:**
 - Fire areas containing Group R occupancy (903.2.8). *This applies to the apartments.*
- Provided System:** NFPA 13R (per Basic Building Description section).

Fire Pumps (IBC 913)

- If provided, must be in room separated by 2-hour fire barrier (913.2.1).

Portable Fire Extinguishers (IBC 906)

- Required (906.1). Location per Table 906.1. Size/distribution per 906.3.
- Dwelling Units:** Require min 1-A:10-B:C rated extinguisher each (906.1 Ex).

Fire Alarm & Detection Systems (IBC 907)

- Manual Fire Alarm:** Required (activates occupant notification) (907.2.9.1). Exception may apply if units separated by 1-hr partitions and have direct exit to exterior.
- Smoke Alarms (R-2 Occupancy - 907.2.11):**
 - Locations:** Outside each sleeping area, inside each sleeping room, on all stories (including basement) (907.2.11.2).
 - Placement Restrictions:** Avoid placement too close to cooking appliances (distance varies by type - ionization/photoelectric) or bathrooms (min 3 ft horizontally) unless necessary for required locations (907.2.11.3, 907.2.11.4).
 - Interconnection:** Required if $>$ 1 alarm needed (907.2.11.5).
 - Power:** Primary power from building wiring with battery backup (907.2.11.6).

Other Building Requirements

Roofing (IBC Chapter 15)

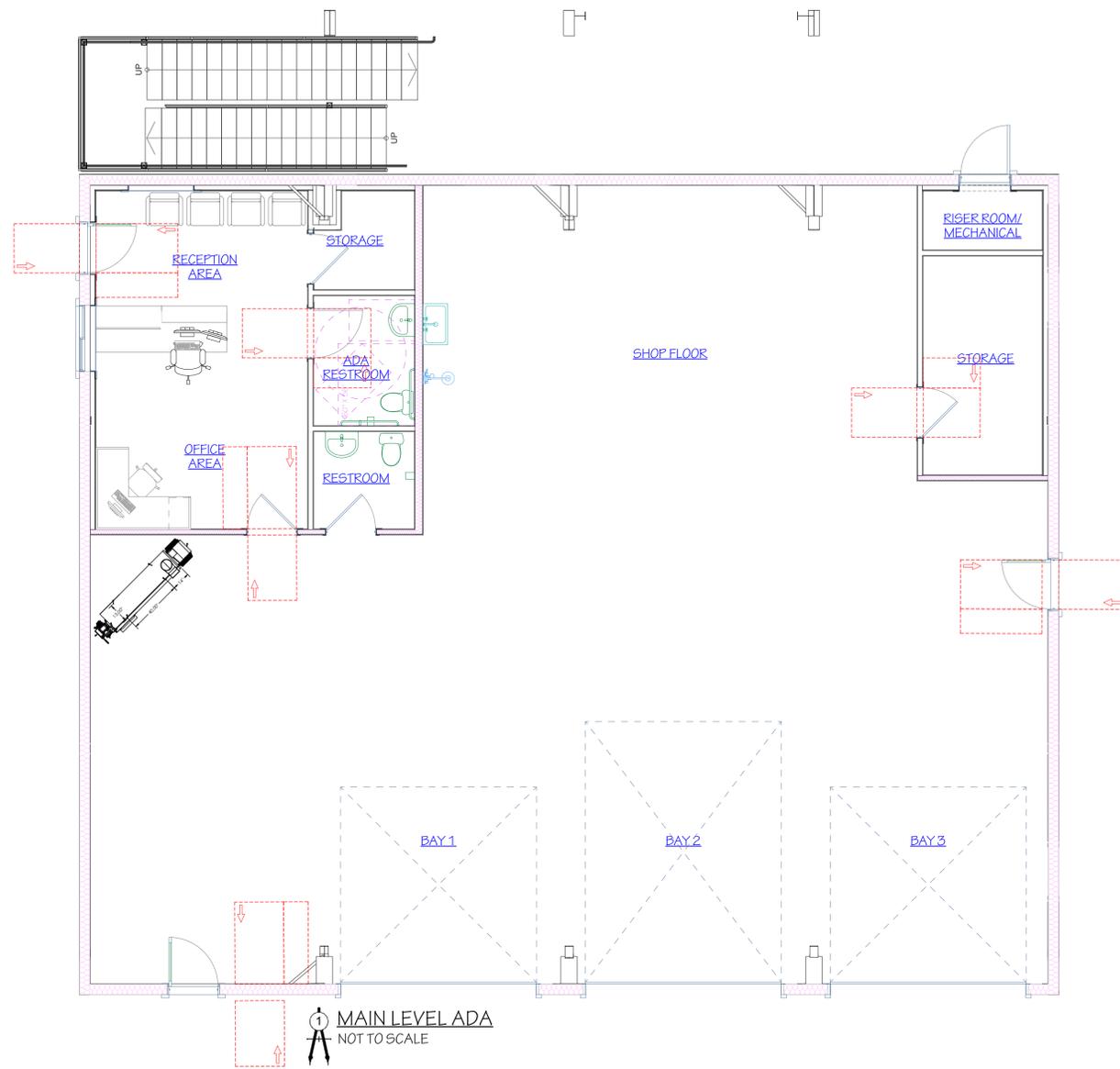
- Class:** Class C or better required (Table 1505.1). Exception allows No. 1 cedar/redwood shakes/shingles.
- Drainage:** Secondary (overflow) drains or scuppers required if water can be trapped by walls/parapets extending above roof (1502.2). Sized to prevent exceeding design load (1611.1). Scuppers min 4" opening (1502.3). Design per IPC Ch 11.

Light and Ventilation (IBC 1204, 1202)

- Light:** Natural (min 8% floor area glazed) OR artificial (avg 10 fc at 30" AFF) required for occupied spaces (1204.1-1204.3). Adjoining room rules apply (1204.2.1).
- Ventilation:** Natural (min 4% floor area openable area) OR mechanical (per IMC) required (1202.1, 1202.5). Adjoining room rules apply (1202.5.1.1). Below grade opening clearances (1202.5.1.2).
- Bathing Rooms:** Mechanical ventilation required (1202.5.2.1).

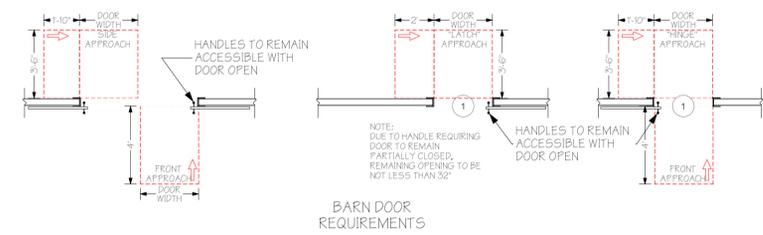
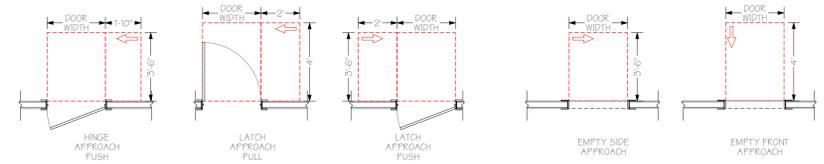
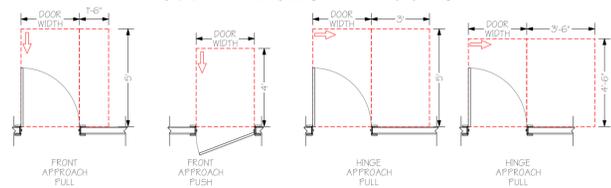
Glazing (IBC 2406)

- Safety Glazing Required in Hazardous Locations:**
 - Doors (swinging, sliding, bifold) (2406.4.1).
 - Adjacent to doors (within 24" arc, bottom edge $<$ 60" AFF) (2406.4.2).
 - Large panels ($>$ 9 sq.ft, bottom $<$ 18" AFF, top $>$ 36" AFF, near walking surface) (2406.4.3).
 - Guards and railings (2406.4.4).
 - Near wet areas (hot tub



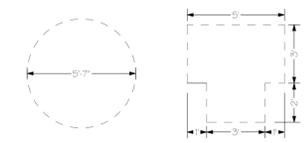
1 MAIN LEVEL ADA
NOT TO SCALE

MANEUVERING CLEARANCES AT DOORS

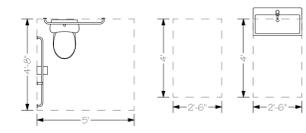


2 MANEUVERING AND CLEARANCE REQUIREMENTS
NOT TO SCALE

TURNING SPACE



CLEAR FLOOR SPACE



ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

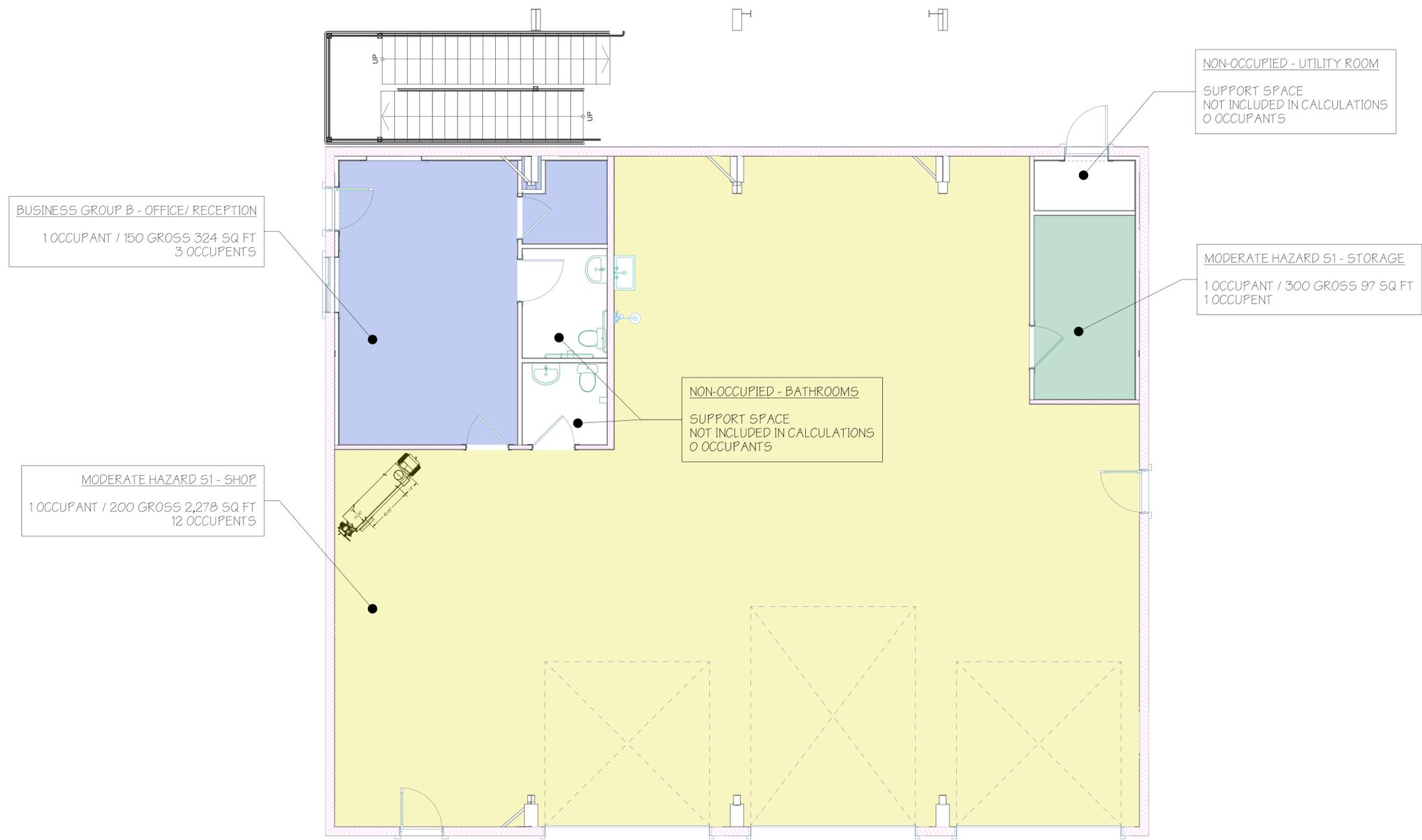
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REVISION DATE	DESCRIPTION

G-103
PLN# 25-01-0 11



BUSINESS GROUP B - OFFICE/ RECEPTION
 1 OCCUPANT / 150 GROSS 324 SQ FT
 3 OCCUPANTS

MODERATE HAZARD S1 - SHOP
 1 OCCUPANT / 200 GROSS 2,278 SQ FT
 12 OCCUPANTS

NON-OCCUPIED - BATHROOMS
 SUPPORT SPACE
 NOT INCLUDED IN CALCULATIONS
 0 OCCUPANTS

NON-OCCUPIED - UTILITY ROOM
 SUPPORT SPACE
 NOT INCLUDED IN CALCULATIONS
 0 OCCUPANTS

MODERATE HAZARD S1 - STORAGE
 1 OCCUPANT / 300 GROSS 97 SQ FT
 1 OCCUPANT

1 MAIN LEVEL OCCUPANCY
 SCALE: 1/4" = 1'-0"

OCCUPANCY SUMMARY (2024 IBC 1004.5)						
ROOM/ AREA LABEL	FUNCTION OF SPACE	NET OR GROSS	OCCUPANT LOAD FACTOR	AREA SQ FT	OCCUPANT LOAD	
BUSINESS GROUP B - OFFICE/ RECEPTION	"BUSINESS AREAS"	GROSS	150	324	3	
MODERATE HAZARD S1 - SHOP	"AUTOMOTIVE SHOP"	GROSS	200	2278	12	
MODERATE HAZARD S1 - STORAGE	"STORAGE"	GROSS	300	97	1	
RESIDENTIAL R2 - APARTMENT 1	"APARTMENT"	GROSS	200	1023	6	
RESIDENTIAL R2 - APARTMENT 2	"APARTMENT"	GROSS	200	769	4	
RESIDENTIAL R2 - APARTMENT 3	"APARTMENT"	GROSS	200	1023	6	
BUILDING TOTAL:					32	

ENGINEER: RICHARD D SEAMONS
 EIT: ###
 DRAWN BY: BW
 CHKD BY: ###
 PLOT DATE: 5/16/2025

AFFITAMI LLC - KATHERINE
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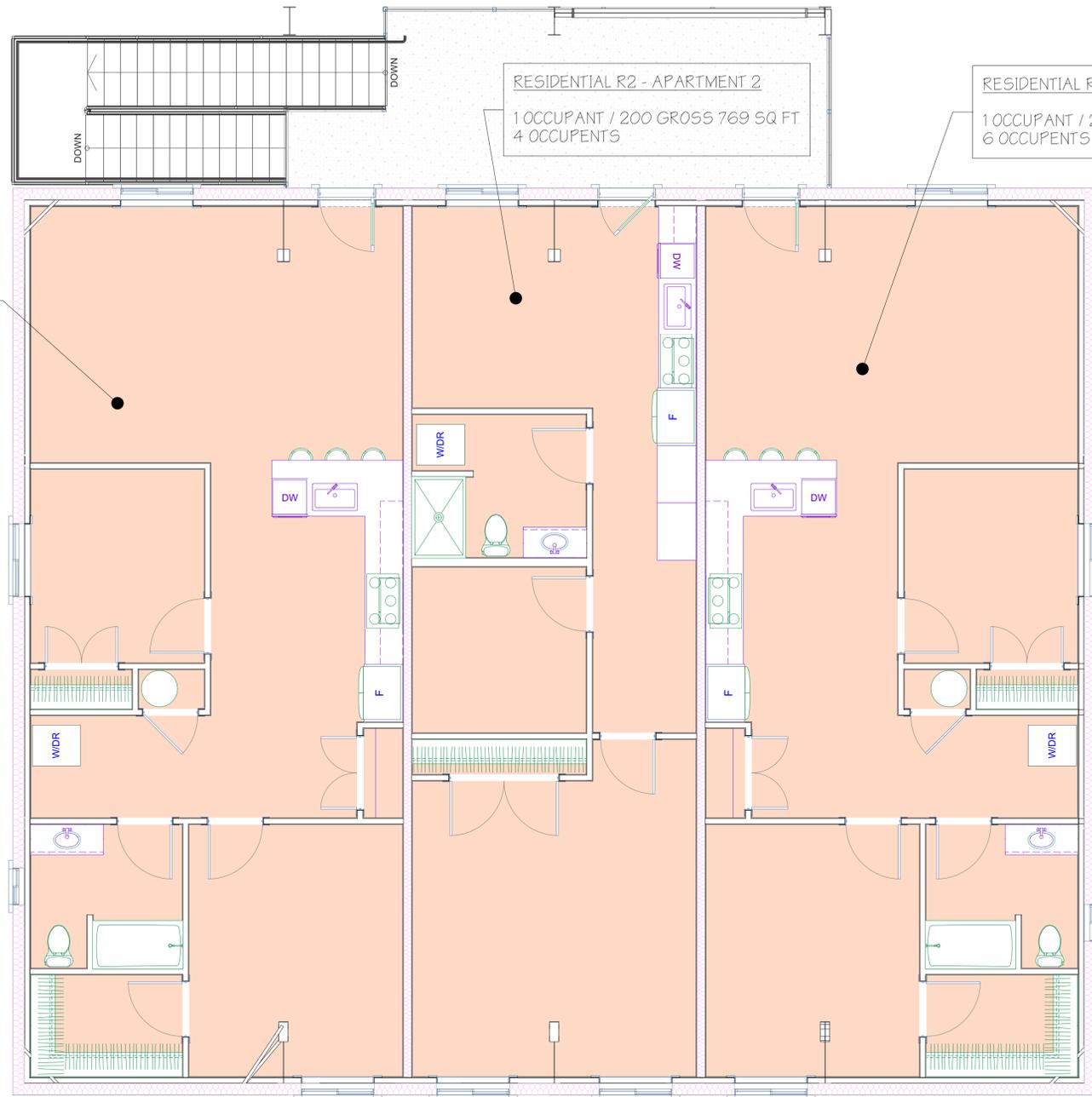
Professional Engineer
 RICHARD D. SEAMONS
 13700
 WYOMING
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LIFE SAFETY - MAIN LEVEL OCCUPANCY	
REVISION DATE	DESCRIPTION

RESIDENTIAL R2 - APARTMENT 1
1 OCCUPANT / 200 GROSS 1,023 SQ FT
6 OCCUPENTS

RESIDENTIAL R2 - APARTMENT 2
1 OCCUPANT / 200 GROSS 769 SQ FT
4 OCCUPENTS

RESIDENTIAL R2 - APARTMENT 3
1 OCCUPANT / 200 GROSS 1,023 SQ FT
6 OCCUPENTS



① SECOND LEVEL OCCUPANCY
SCALE: 1/4" = 1'-0"

OCCUPANCY SUMMARY (2024 IBC 1004.5)

ROOM/ AREA LABEL	FUNCTION OF SPACE	NET OR GROSS	OCCUPANT LOAD FACTOR	AREA SQ FT	OCCUPANT LOAD
BUSINESS GROUP B - OFFICE/ RECEPTION	"BUSINESS AREAS"	GROSS	150	324	3
MODERATE HAZARD S1 - SHOP	"AUTOMOTIVE SHOP"	GROSS	200	2278	12
MODERATE HAZARD S1 - STORAGE	"STORAGE"	GROSS	300	97	1
RESIDENTIAL R2 - APARTMENT 1	"APARTMENT"	GROSS	200	1023	6
RESIDENTIAL R2 - APARTMENT 2	"APARTMENT"	GROSS	200	769	4
RESIDENTIAL R2 - APARTMENT 3	"APARTMENT"	GROSS	200	1023	6
BUILDING TOTAL:					32

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

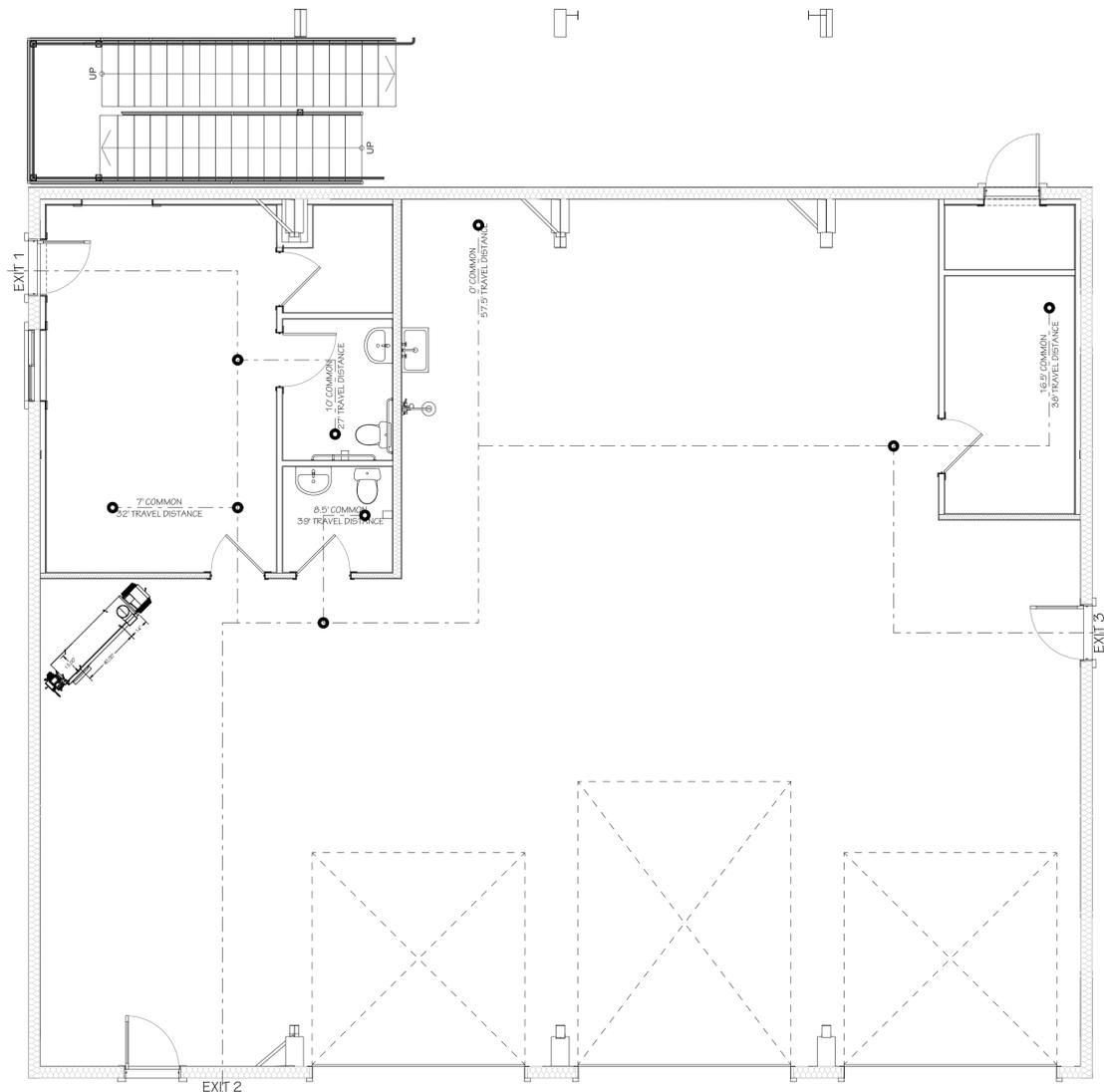
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KRESAN - AUTO SERVICE
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Professional Engineer
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13704
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MAIN LEVEL EGRESS
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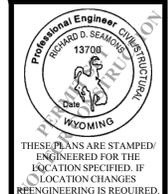
EGRESS DISTANCE REQUIREMENTS	# OCCUPANTS SERVED	MAX ALLOWED	MAX PLANNED
MAXIMUM COMMON PATH OF EGRESS EXIT 1 (1006.2.1)	3	100' SPRINKLERED	7'
MAXIMUM COMMON PATH OF EGRESS EXIT 2 (1006.2.1)	12	100' SPRINKLERED	0'
MAXIMUM COMMON PATH OF EGRESS EXIT 3 (1006.2.1)	1	100' SPRINKLERED	16.5
MAXIMUM COMMON PATH OF EGRESS EXIT 4 (1006.2.1)	6	125' SPRINKLERED	115'
MAXIMUM COMMON PATH OF EGRESS EXIT 5 (1006.2.1)	4	125' SPRINKLERED	114'
MAXIMUM COMMON PATH OF EGRESS EXIT 6 (1006.2.1)	6	125' SPRINKLERED	123
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 1 (1017.2)	3	250' SPRINKLERED	32'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 2 (1017.2)	12	250' SPRINKLERED	57.5'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 3 (1017.2)	1	250' SPRINKLERED	38'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 4 (1017.2)	6	250' SPRINKLERED	115'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 5 (1017.2)	4	250' SPRINKLERED	114'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 6 (1017.2)	6	250' SPRINKLERED	123

EGRESS CAPACITY REQUIREMENTS	# OCCUPANTS SERVED	MIN REQUIRED (INCHES)	PLANNED MIN.
EXIT 1 (1005.3.2)	3	0.6	36"
EXIT 2 (1005.3.2)	12	2.4	36"
EXIT 3 (1005.3.2)	1	0.2	36"
EXIT 4 (1005.3.2)	6	1.2	36"
EXIT 5 (1005.3.2)	4	0.8	36"
EXIT 6 (1005.3.2)	6	1.2	36"

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

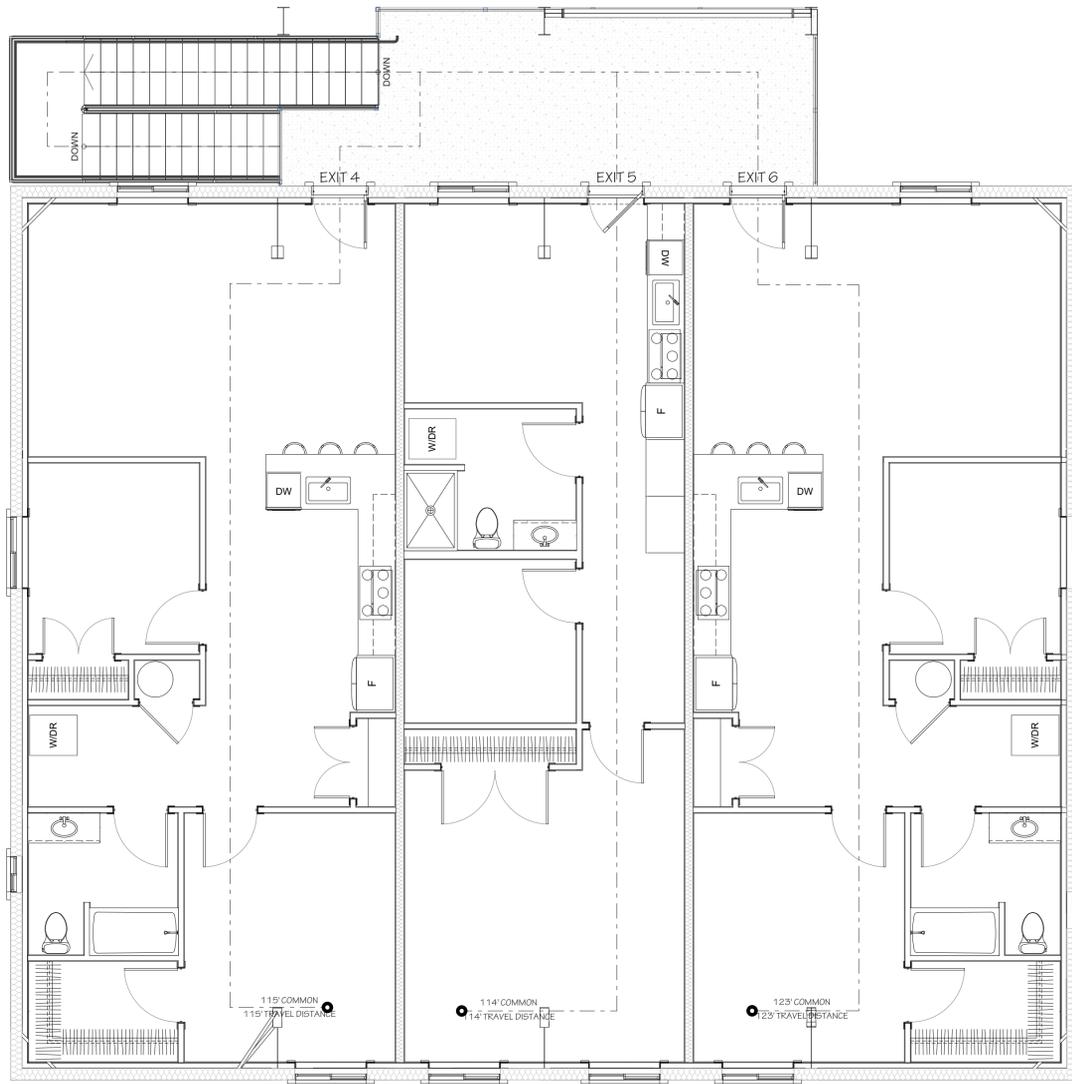
AFFITTAMI LLC - KATHERINE
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PARCEL NO: 37182030004500
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SECOND LEVEL EGRESS
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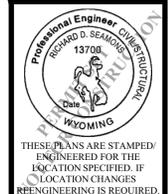
EGRESS DISTANCE REQUIREMENTS	# OCCUPANTS SERVED	MAX ALLOWED	MAX PLANNED
MAXIMUM COMMON PATH OF EGRESS EXIT 1 (1006.2.1)	3	100' SPRINKLERED	7'
MAXIMUM COMMON PATH OF EGRESS EXIT 2 (1006.2.1)	12	100' SPRINKLERED	0'
MAXIMUM COMMON PATH OF EGRESS EXIT 3 (1006.2.1)	1	100' SPRINKLERED	16.5'
MAXIMUM COMMON PATH OF EGRESS EXIT 4 (1006.2.1)	6	125' SPRINKLERED	115'
MAXIMUM COMMON PATH OF EGRESS EXIT 5 (1006.2.1)	4	125' SPRINKLERED	114'
MAXIMUM COMMON PATH OF EGRESS EXIT 6 (1006.2.1)	6	125' SPRINKLERED	123'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 1 (1017.2)	3	250' SPRINKLERED	32'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 2 (1017.2)	12	250' SPRINKLERED	57.5'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 3 (1017.2)	1	250' SPRINKLERED	38'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 4 (1017.2)	6	250' SPRINKLERED	115'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 5 (1017.2)	4	250' SPRINKLERED	114'
MAXIMUM EXIT ACCESS TRAVEL DISTANCE EXIT 6 (1017.2)	6	250' SPRINKLERED	123'

EGRESS CAPACITY REQUIREMENTS	# OCCUPANTS SERVED	MIN REQUIRED (INCHES)	PLANNED MIN.
EXIT 1 (1005.3.2)	3	0.6	36"
EXIT 2 (1005.3.2)	12	2.4	36"
EXIT 3 (1005.3.2)	1	0.2	36"
EXIT 4 (1005.3.2)	6	1.2	36"
EXIT 5 (1005.3.2)	4	0.8	36"
EXIT 6 (1005.3.2)	6	1.2	36"

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

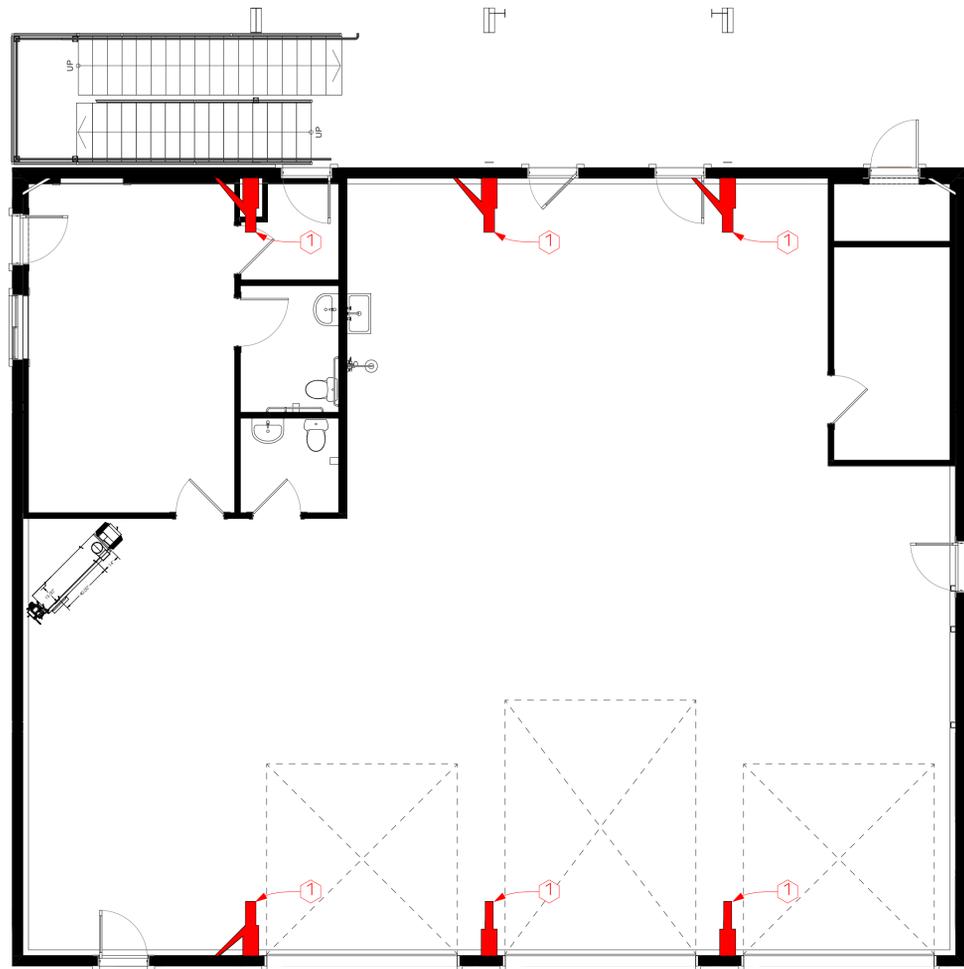
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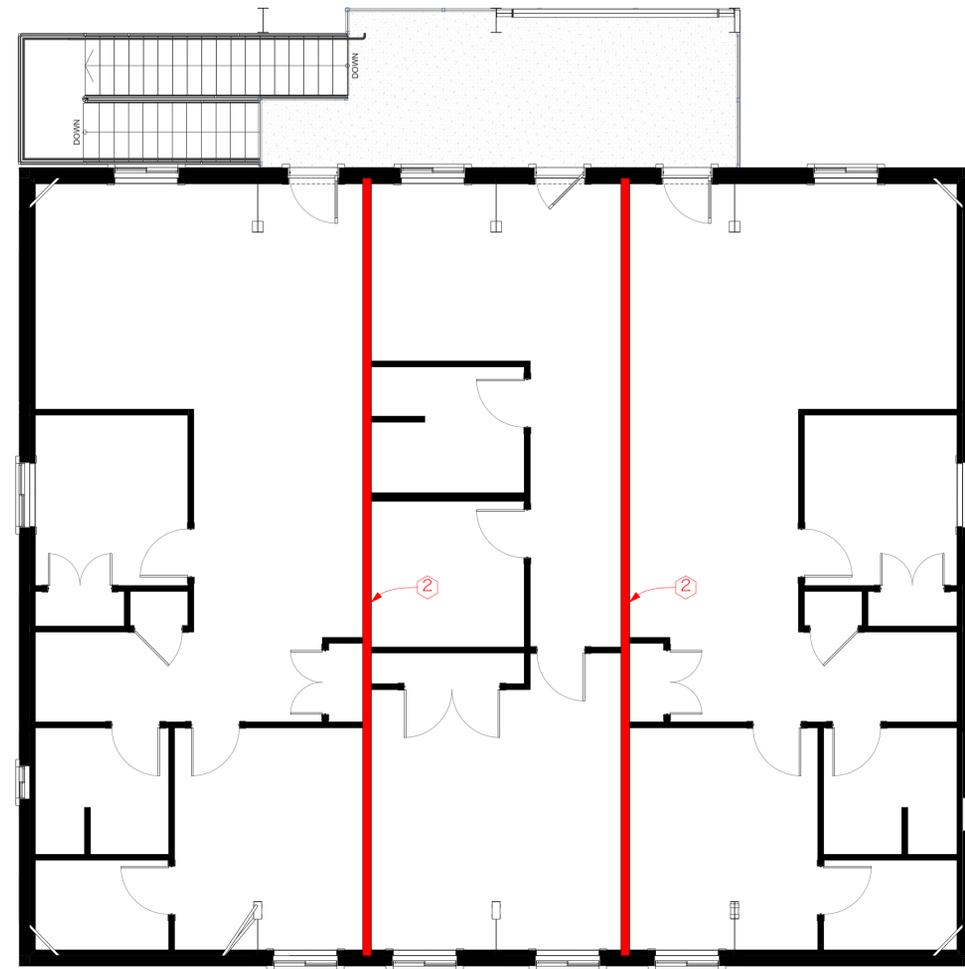


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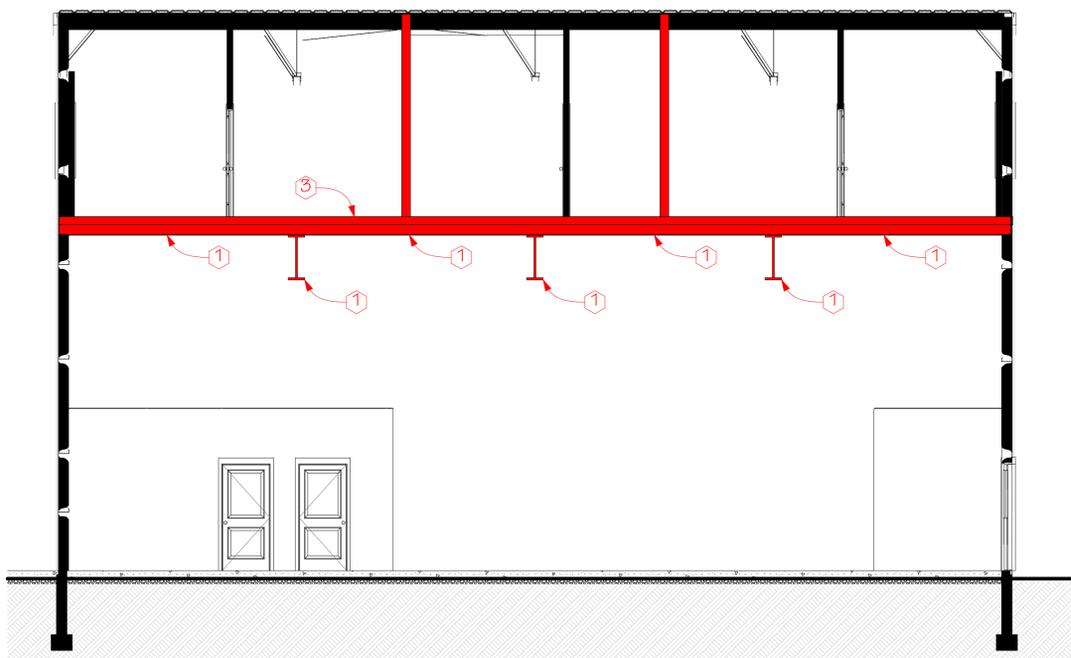
REVISION DATE	DESCRIPTION



1 MAIN LEVEL FIRE
SCALE: 3/16" = 1'-0"



2 UPPER LEVEL FIRE
SCALE: 3/16" = 1'-0"



3 SECTION B FIRE
SCALE: 3/16" = 1'-0"

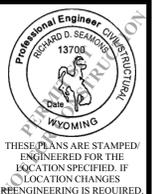
FIRE KEYNOTES:

- 1 1 HR FLOOR ASSEMBLY SUPPORTING CONSTRUCTION MUST BE PROTECTED PER 711.2.3 - 1 HR APPROVED INTUMESCENT COATING
- 2 1 HR PARTITION WALL AS UNIT SEPARATION - UL U309 (FOR SOUND) SEE FOLLOWING PAGE FOR DETAILS
- 3 1 HR HORIZONTAL ASSEMBLY PRESCRIPTIVE PER 721.1(3) - 1 3.5" THICKNESS W/ NO LESS THAN 3/4" COVERAGE OVER REINFORCEMENT

Section 3, Item:
ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

South Fork Design Group, LLC
127 E. Main St. Suite 111
Rexburg, ID 83440
www.southforkdesign.com
208-852-6236



THESE PLANS ARE STAMPED
ENGINEERED FOR THE
LOCATION SPECIFIED. IF
LOCATION CHANGES
REENGINEERING IS REQUIRED.

LIFE SAFETY - FIRE KEY	
REVISION DATE	DESCRIPTION

FIRE PARTITION WALL NOTES: (SEPARATION BETWEEN UPPER FLOOR UNITS) 708

Fire partitions must be continuous from the top of the fire-resistance-rated floor assembly below to one of the following:

- The underside of the fire-resistance-rated floor or roof sheathing, deck, or slab above.
- The underside of a ceiling assembly with a fire-resistance rating equal to or greater than the partition.
- The underside of a non-rated ceiling, provided the partition is constructed to intersect with the underside of the fire-resistance-rated floor or roof assembly above.

Supporting Construction: Per Section 708.4.2, the supporting structural elements (e.g., columns, beams) for fire partitions must have a fire-resistance rating not less than that required for the fire partition itself.

Penetrations: Penetrations through fire partitions (e.g., for pipes, ducts, or electrical conduit) must be protected with approved firestop systems or devices to maintain the fire-resistance rating, as specified in Section 714 - Penetrations.

Joints: Fire-resistant joint systems in fire partitions must be protected to maintain the required fire-resistance rating, per Section 715 - Fire-Resistant Joint Systems.

FLOOR HORIZONTAL ASSEMBLY NOTES: (SEPARATION BETWEEN UPPER FLOOR UNITS) - 711

Continuity (Section 711.2.2): Horizontal assemblies must be continuous without unprotected openings, penetrations, or joints that would compromise their fire-resistance rating, except as permitted by the code. They must extend:

- From exterior wall to exterior wall, or to a fire wall, fire barrier, or other vertical fire-resistance-rated assembly that maintains the separation.
- Vertically through the assembly to maintain the fire-resistance rating, ensuring no gaps or unprotected interruptions.

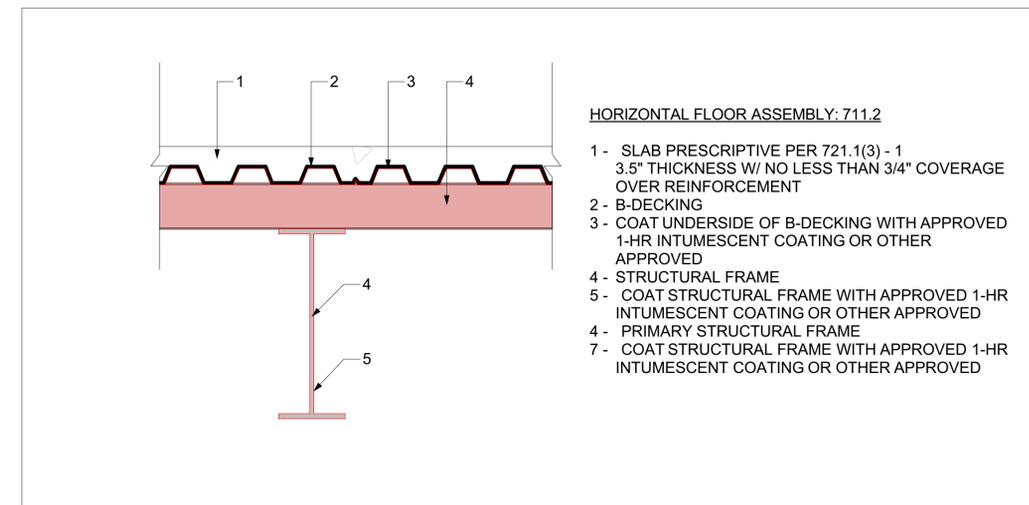
Supporting Construction (Section 711.2.3): Structural elements (e.g., columns, beams, or walls) supporting a fire-resistance-rated horizontal assembly must have a fire-resistance rating not less than that required for the horizontal assembly itself.

Penetrations (Section 711.2.4 and Section 714): Penetrations through horizontal assemblies (e.g., for pipes, ducts, or electrical systems) must be protected with approved firestop systems, through-penetration firestop systems, or devices to maintain the fire-resistance rating, as specified in Section 714 - Penetrations.

Joints (Section 711.2.5 and Section 715): Joints in or between horizontal assemblies (e.g., expansion or construction joints) must be protected with fire-resistant joint systems to maintain the required fire-resistance rating, per Section 715 - Fire-Resistant Joint Systems.

GA FILE NO. WP 3246	PROPRIETARY*	1 HOUR FIRE	50 to 54 STC SOUND
<p>GYPSUM WALLBOARD, GYPSUM PANEL PRODUCT, WOOD STUDS</p> <p>Fire Design: One layer 5/8" proprietary gypsum board applied parallel to ONE SIDE of 2 x 4 wood studs 24" o.c. with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. OPPOSITE SIDE: One layer 5/8" proprietary gypsum panel product applied parallel to studs with 6d coated nails, 1-7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. Joints staggered 24" on OPPOSITE SIDES. (LOAD-BEARING)</p> <p>Sound Design: Sound tested with screws 12" o.c. and 3-1/2" glass fiber insulation friction fit in stud space.</p> <p>PROPRIETARY GYPSUM PANEL PRODUCT</p> <p>CertainTeed Gypsum Inc. 5/8" CertainTeed® Type X Gypsum Board 5/8" SilentFX® QuickCut™</p>			
		<p>Thickness: 4-3/4" (Fire and Sound) Approx. Weight: 7 psf (Fire and Sound) Fire Test: UL R3660, 10CA25812, 8-17-10, UL Design U309 Sound Test: OL 11-0616, 6-20-11</p>	
<p>EXCERPT FROM GA-600-2018 FIRE RESISTANCE AND SOUND CONTROL DESIGN MANUAL</p>			

② UL309 FIRE PARTITION
NOT TO SCALE



① HORIZONTAL FLOOR ASSEMBLY
NOT TO SCALE

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

South Fork Design Group, LLC
127 E. Main St. Suite 111
Rexburg, ID 83440
www.southforkdesign.com
208-852-6236



Professional Engineer
RICHARD D. SEAMONS
13700
WYOMING
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ENGINEER FOR THE
LOCATION SPECIFIED. IF
LOCATION CHANGES
REENGINEERING IS REQUIRED.

REVISION DATE	DESCRIPTION

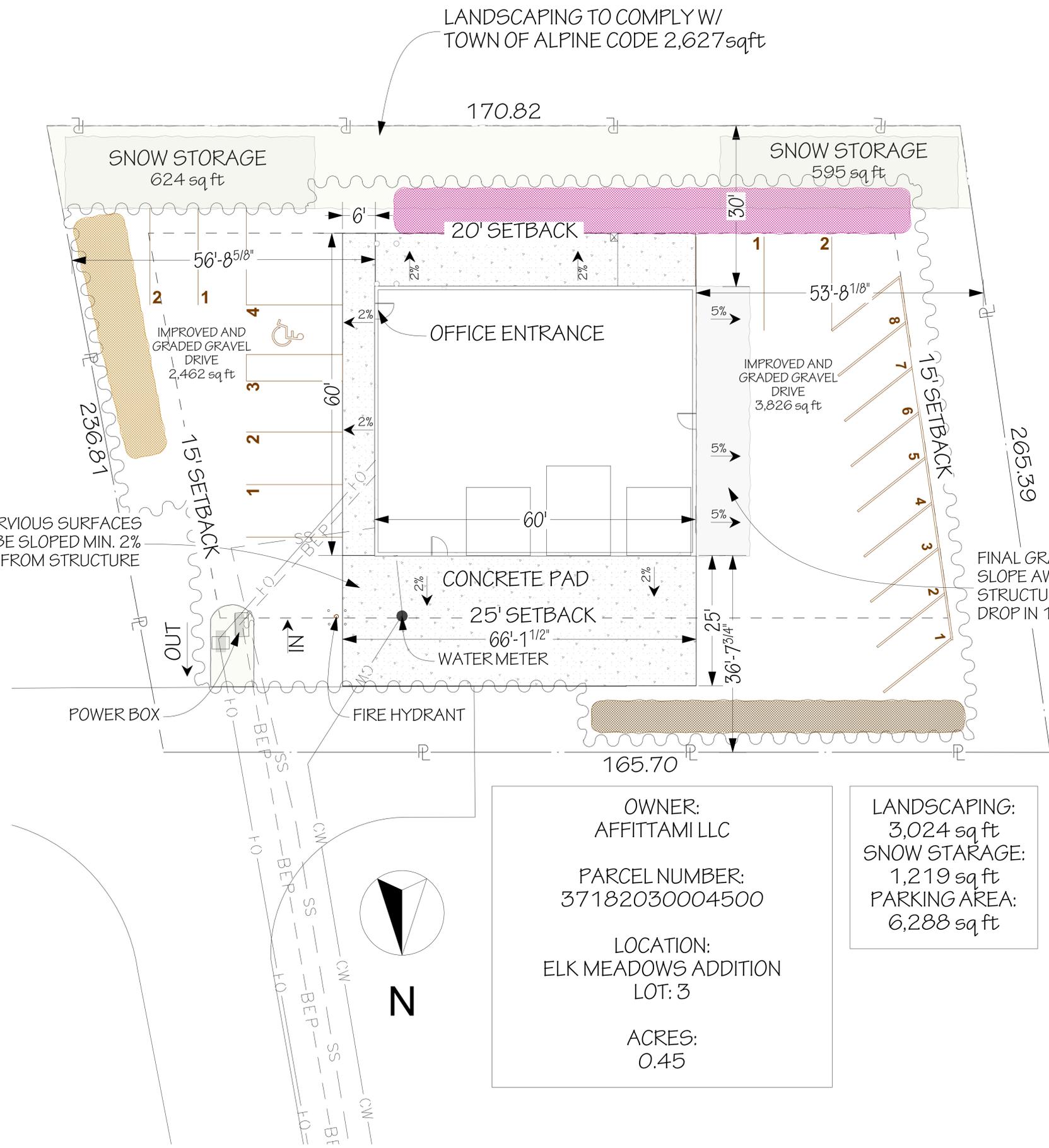
SHEET TITLE:	DESCRIPTION
SITE PLAN	
REVISION DATE	

SITE PLAN NOTE:

1. SOUTH FORK DESIGN GROUP DOES NOT PROVIDE SURVEYING, CIVIL ENGINEERING OR GEO TECHNICAL ENGINEERING. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO ACQUIRE THESE SERVICES IF APPLICABLE. FINAL PLACEMENT OF STRUCTURE IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
2. U.N.O. THE SITE PLAN IS BASED ON MEASUREMENTS OBTAINED FROM PUBLIC RECORD DOCUMENTS OR GIS SYSTEM INFORMATION AND MAY NOT BE EXACT. IT IS THE OWNERS/CONTRACTORS RESPONSIBILITY TO OBTAIN NECESSARY SURVEY DATA, INCLUDING TOPOGRAPHICAL INFORMATION
3. LOCATION OF UTILITIES SHOULD BE CONFIRMED BY THE CONTRACTOR PRIOR TO EXCAVATION
4. WHERE SEPTIC AND/OR FRESH WATER WELLS ARE NECESSARY, PERMITS AND LOCATION SHOULD BE OBTAINED FROM THE AUTHORITY HAVING JURISDICTION (TYPICALLY HEALTH DEPT)
5. INDICATED LOCATIONS OF SEPTIC, WELL, AND/OR UTILITIES ARE ASSUMED OR SUGGESTED AND SHOULD BE VERIFIED AND APPROVED BY THE OWNER/CONTRACTOR AND THE AUTHORITY HAVING JURISDICTION

LEGEND

	PROPERTY LINE
	EASEMENT BOUNDARY
	SET BACK
	ELECTRICAL POWER (BELOW GROUND)
	DATA, FIBER, CABLE (BELOW GROUND)
	CITY SANITARY SEWER (BELOW GROUND)
	SEPTIC SUPPLY & LEACH FIELD LINES (BELOW GROUND)
	COLD WATER SUPPLY CITY OR WELL (BELOW GROUND)
	CENTERLINE OF ROAD
	EDGE OF ROAD
	AREA OF DISTURBANCE BOUNDARY
	LOCATION OF EXISTING TREES OR SHRUBBERY



OWNER:
AFFITAMI LLC

PARCEL NUMBER:
37182030004500

LOCATION:
ELK MEADOWS ADDITION
LOT: 3

ACRES:
0.45

LANDSCAPING:
3,024 sq ft

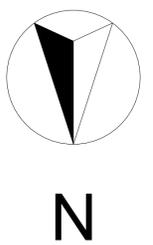
SNOW STORAGE:
1,219 sq ft

PARKING AREA:
6,288 sq ft

ZONE:
MRC MIXED RESIDENTIAL AND
COMMERCIAL DISTRICT

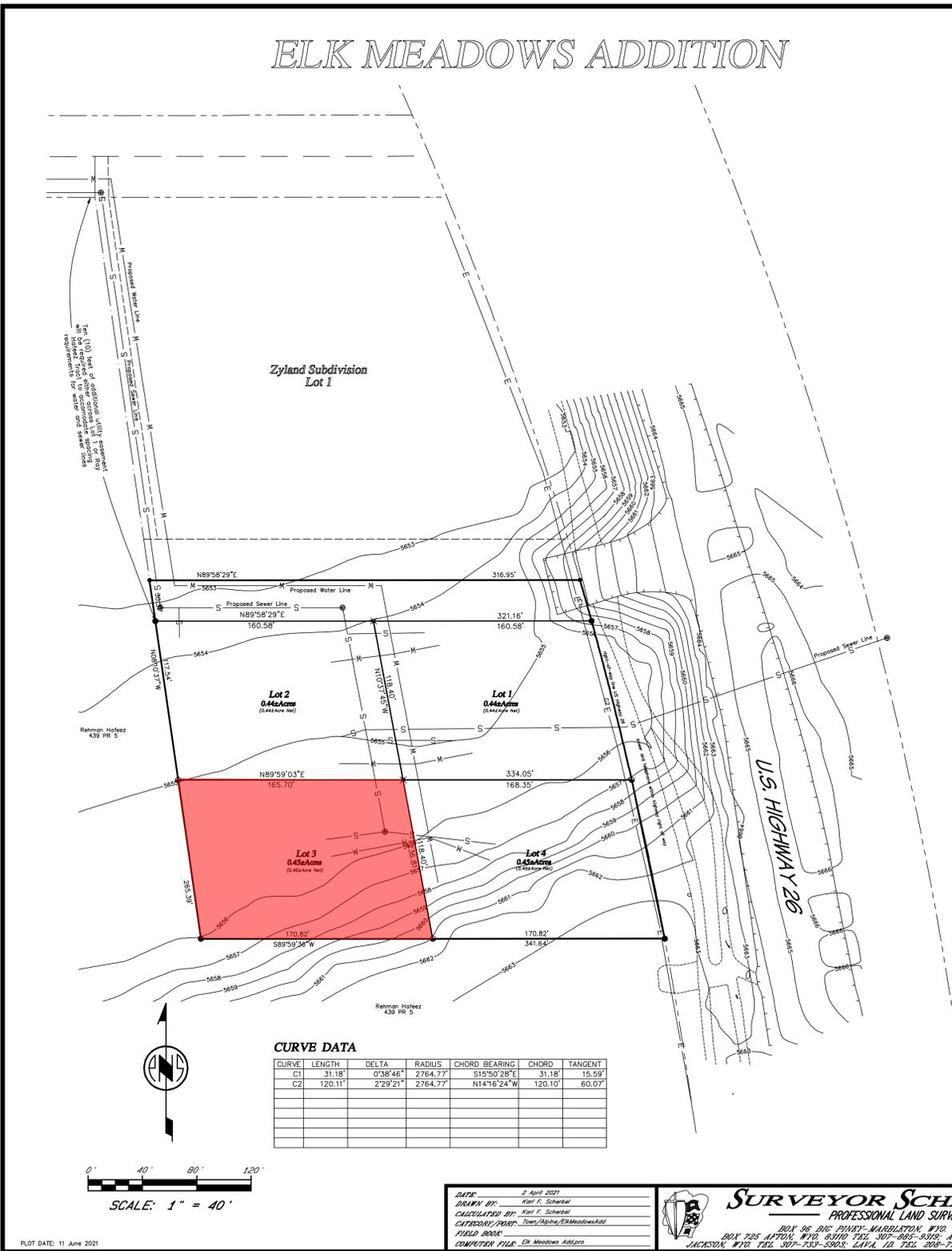
SETBACKS:
FRONT : 25'
SIDE: 15'
REAR: 20'
MAXIMUM BUILDING HEIGHT:
45'

SITE PLAN
 SCALE: 1" = 10'



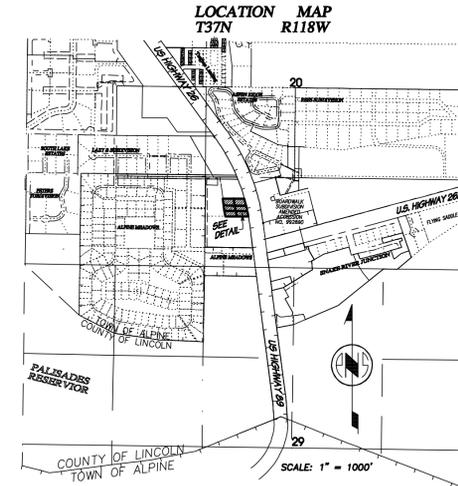
NOTE: THIS SURVEY WAS PERFORMED AND CREATED BY MARLOWE A. SCHERBEL.
IT IS PUT ON THIS PAGE FOR REFERENCE ONLY.
THIS PAGE IS NOT TO SCALE.

ELK MEADOWS ADDITION



CURVE DATA

CURVE	LENGTH	DELTA	RADIUS	CHORD BEARING	CHORD	TANGENT
C1	31.18'	0°38'46"	2764.77'	S15°50'28"E	31.18'	15.59'
C2	120.11'	2°29'21"	2764.77'	N14°16'24"W	120.10'	60.07'



CERTIFICATE OF SURVEYOR

STATE OF WYOMING }
COUNTY OF LINCOLN }
I, Marlowe A. Scherbel, of Afton, Wyoming, hereby certify that this plat was made from notes taken during an actual survey made by persons under my supervision during _____, 2021 and from records in the Office of the Clerk of Lincoln County and that it correctly represents **ELK MEADOWS ADDITION**, described as follows:
That part of the SE1/4SW1/4 of Section 20, T37N R118W, Lincoln County, Wyoming, described as follows:
All of Lot 2 of Zyland Subdivision of record in said Office with Accession No. 911635;
Enccompassing an area of 2.00 acres, more or less.
that said addition was accurately surveyed, that the parts thereof are accurately staked off and marked with appropriate metal monuments, including magnetic iron, and inscribed at least with the registration number of the Land Surveyor to provide source identification at all lot corners of the addition, and that their locations are correctly shown hereon;
that, to the best of my knowledge, it conforms with the municipal code of the Town of Alpine and to all applicable state statutes;
that the error of closure is not greater than one part in five-thousand.



The foregoing instrument was acknowledged before me by Marlowe A. Scherbel this _____ day of _____, 2021.
Witness my hand and official seal.

Notary Public _____ My Commission expire _____

CERTIFICATE OF OWNERS

STATE OF WYOMING }
COUNTY OF LINCOLN }
The undersigned hereby certify that the subdivision of part of the SE1/4SW1/4 of Section 20, T37N R118W, within the Incorporated Limits of the Town of Alpine, Lincoln County, Wyoming, as shown on this plat and more particularly described in the Certificate of Surveyor, is with the free consent and in accordance with the desires of the owner and proprietor of the described lands;
that the name of the addition shall be the **ELK MEADOWS ADDITION** to the Town of Alpine;
that they do hereby vacate Lot 2 of Zyland Subdivision of record in said Office with Accession No. 911635, in accordance with Section 34-12-106, Wyoming Statutes, 2019, as amended, and respectfully request the Clerk of Lincoln County to so mark said plat in accordance with Section 34-12-110;
that utility easements shown hereon are hereby granted to Lower Valley Energy, Silver Star Telephone Company, Inc., and other public and private utilities to serve the lots of this addition;
that said addition is subject to any easements of record;
that Wyoming law does not recognize any riparian rights to the continued natural flow of a stream or river for persons living on the banks of a stream or river;
that all rights under and by virtue of the Homestead Exemption Laws of the State of Wyoming are hereby released.
Bugging Elk Properties, LLC
Signature obtained by separate Certificate of Owners
signature to be recorded concurrently herewith
John Lotshaw, Manager

CERTIFICATE OF ACCEPTANCE

STATE OF WYOMING }
COUNTY OF LINCOLN }
The foregoing **ELK MEADOWS ADDITION** to the Town of Alpine was approved at the regular meeting of the Alpine Town Council on the _____ day of _____, 2021, in accordance with Sections 15-1-415 and 34-12-102, 103, Wyoming Statutes, 2019, as amended.
Attest: _____ Town of Alpine
Sharon Backus, Clerk W. Kennis Lutz, Mayor

LEGEND

- indicates a Corner Record filed or to be filed in the Office of the Clerk of Lincoln County.
- △ indicates a 6" x 6" concrete post with brass marker inscribed: "STATE HIGHWAY DEPT R.O.W. MARKER", with appropriate details, found.
- indicates a 5/8" x 24" steel reinforcing rod with a 2" aluminum cap inscribed: "SURVEYOR SCHERBEL LTD BIG PINEY WY PLS 5368" or "SURVEYOR SCHERBEL LTD AFTON WY PLS 5368", with appropriate details, found.
- indicates a 3/8" x 12" steel spike, found.
- indicates a 5/8" x 24" steel reinforcing rod with a 2" aluminum cap inscribed: "SURVEYOR SCHERBEL LTD AFTON WY PLS 5368", with appropriate details, set this survey.
- ✕ indicates a calculated point, no monument found or set.
- indicates an easement line.
- - - - indicates a right-of-way line.

The Base Bearing for this survey is the north line of the S1/2SW1/4 of Section 20, T37N R118W, being N89°57'00"E.

Note: Due to the rounding algorithms of automated computer drafting text, the sum of the parts of total distances may be 0.01' different from the total distance shown.

OWNERS: Bugging Elk Properties, LLC 3315 S. Cow Camp Jackson, WY 83001	LAND USE TABLE: Total Number of Lots: 4 Average Lot Size: 0.50± Acres Total Acres: 2.00± Acres Use of Lots: Commercial/Multi Family Zoning: Mixed Residential and Commercial
SURVEYOR: Surveyor Scherbel, Ltd. P.O. Box 725 Afton, Wyoming 83110 (307) 885-9319	DATE: July 2021

ADVANCE PLAT
SUBJECT TO CORRECTION
AND APPROVAL

CERTIFICATE OF RECORDATION

This plat was filed for record in the Office of the Clerk of Lincoln County on this _____ day of _____, 2021.
April Brunski, Clerk

PRELIMINARY PLAT
ELK MEADOWS ADDITION
TO THE TOWN OF ALPINE
WITHIN THE
SE1/4SW1/4 SECTION 20
T37N R118W
LINCOLN COUNTY, WYOMING

DATE: 2 April 2021
DRAWN BY: Karl F. Scherbel
CALCULATED BY: Karl F. Scherbel
CHECKED/PRINT: Dawn Albino, ElkMeadowsAdd
FIELD BOOK
COMPUTER FILE: Elk Meadows Addition

SURVEYOR SCHERBEL, LTD.
PROFESSIONAL LAND SURVEYORS

BOX 96 BIG PINEY-MARLBATON, WYO 83109 TEL 307-876-3347
BOX 285 AFTON, WYO 83110 TEL 307-885-9319 ALPINE, WYO 83110 TEL 307-885-9319
JACKSON, WYO TEL 307-733-2863, LATA, UT TEL 308-778-3800, MONTPELLIER, UT TEL 801-847-2800

PLOT DATE: 11 June 2021

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

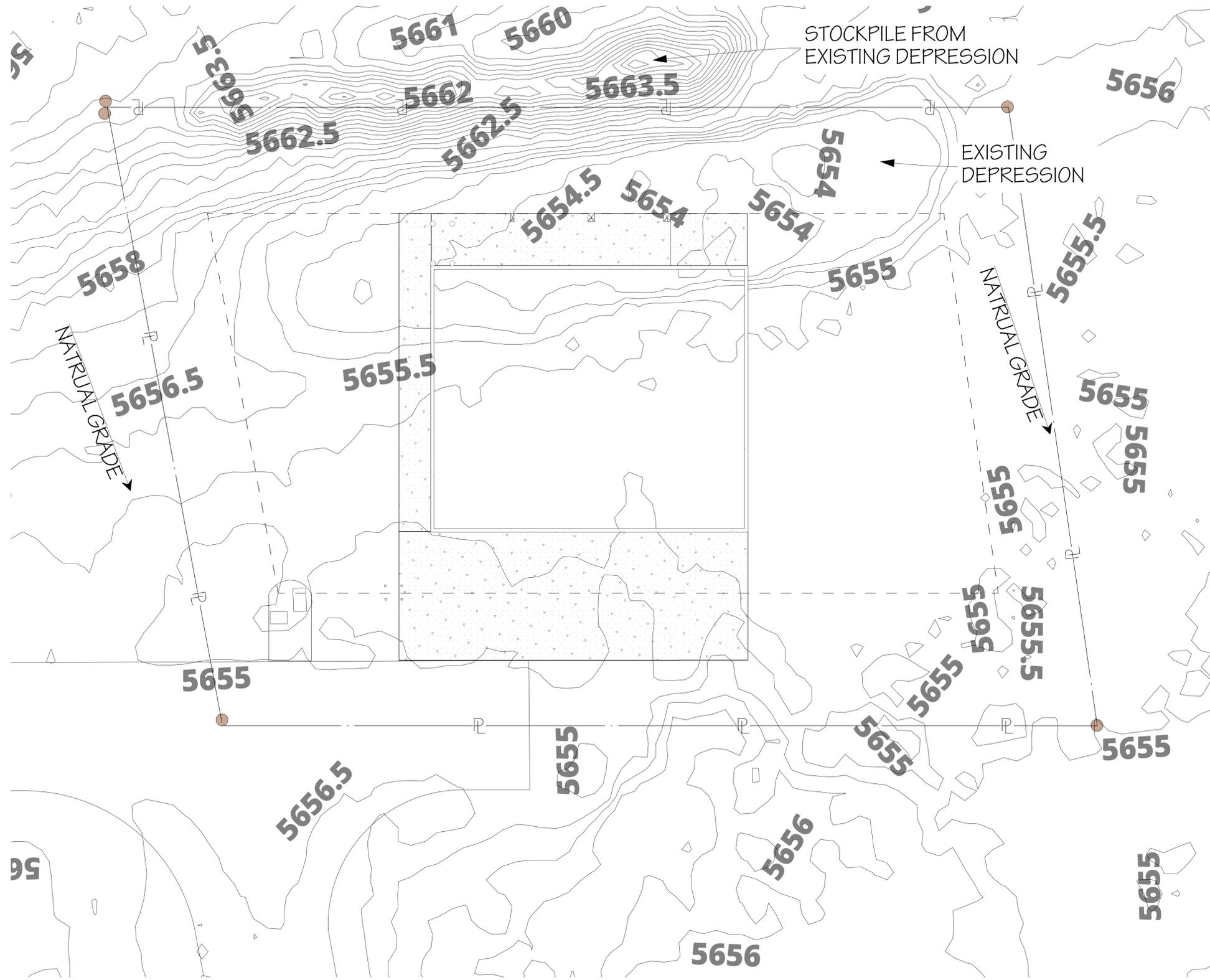
AFFITAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

South Fork Design Group, LLC
127 E. Main St, Suite 111
Rexburg, ID 83440
www.southforkdesign.com
208-852-6236



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SHEET TITLE:	RECORDED SURVEY
REVISION DATE	DESCRIPTION




SITE CONTOURS
 SCALE: 1" = 10'

ENGINEER: RICHARD D SEAMONS
 EIT: ###
 DRAWN BY: BW
 CHKD BY: ###
 PLOT DATE: 5/16/2025

AFFITAMI LLC - KATHERINE KRESAN - AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3

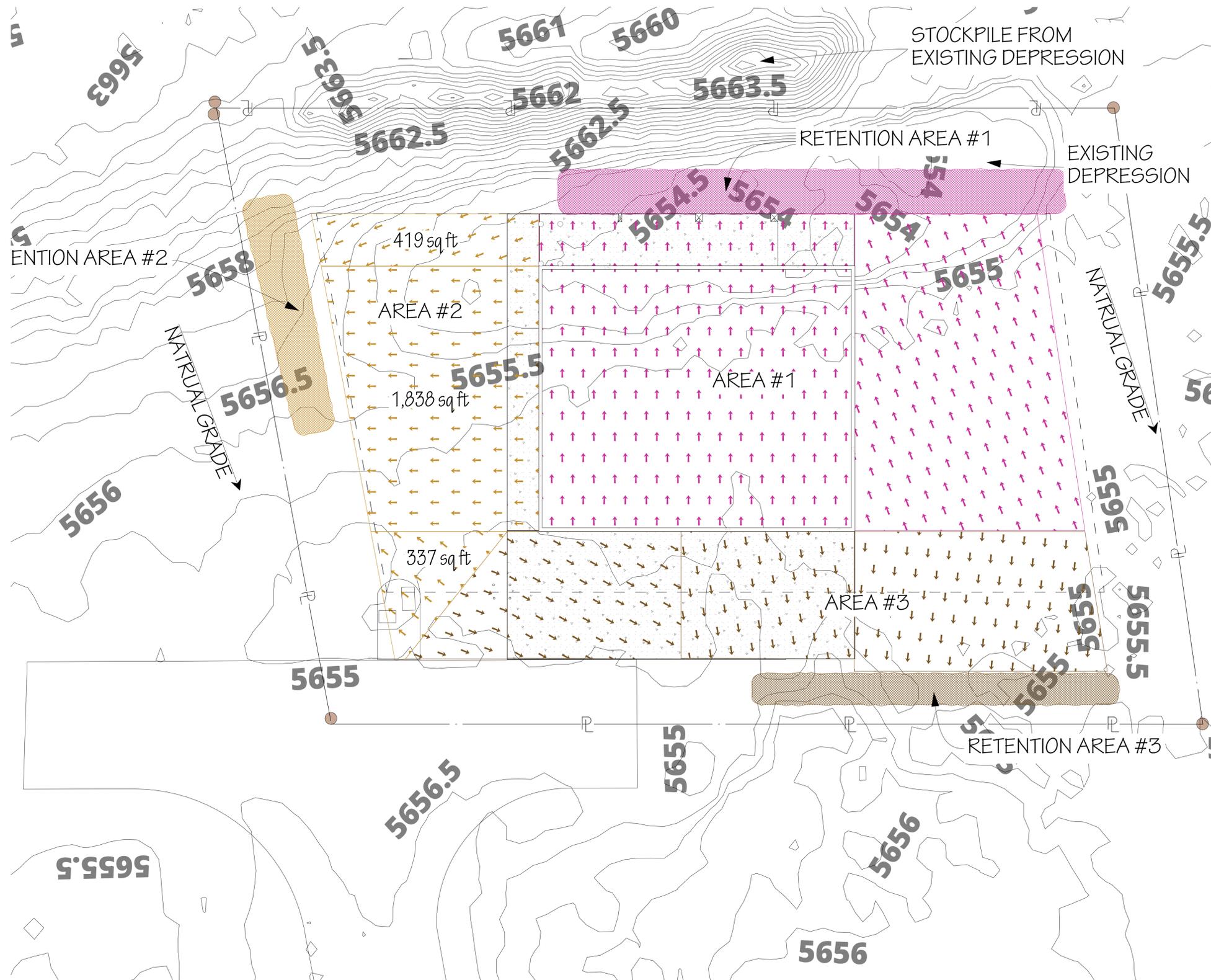
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 208-852-6236



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SHEET TITLE:	SITE CONTOURS
REVISION DATE	DESCRIPTION

C-103
 PLN# 25-01-0 20



SITE WATER RETENTION
SCALE: 1" = 10'

STORMWATER NARRATIVE:

THIS PLAN IS TO FULFILL THE REQUIREMENTS OF THE TETON COUNTY LAND AND DEVELOPMENT CODE, 2022 SECTIONS 5-2-3. A DRAINAGE PLAN IS NEEDED DUE TO REQUIREMENTS LISTED IN THE TETON COUNTY LDC, 2022 5-2-3 B.

THIS PLAN IS DESIGNED TO MANAGE ONE HUNDRED PERCENT (100%) OF THE 95TH PERCENTILE RAINFALL EVENT ON SITE AND SHALL NOT BE ALLOWED TO DISCHARGE OFFSITE TO SURFACE WATERS.

1. THE 95TH PERCENTILE RAINFALL EVENT, ALSO KNOWN AS THE WATER QUALITY CAPTURE VOLUME (WQCV), FOR TETON COUNTY IS 0.65-INCHES FALLING OVER A 24-HOUR PERIOD BASED ON THE PERIOD OF RECORD FROM 1927 TO 1982 FOR THE DRIGGS RAIN GAUGE (USC00102676). THUS, 95% OR DAILY STORM EVENTS ARE ESTIMATED TO HAVE A DEPTH OF 0.65-INCHES OR LESS.
2. TOTAL RUNOFF VOLUME FROM A SITE SHOULD BE DETERMINED USING THE DIRECT DETERMINATION METHOD, WHICH TAKES INTO ACCOUNT RAINFALL, DEPRESSION STORAGE, AND INFILTRATION. THE HYDROLOGIC SOIL GROUP FROM THE SITE SHOULD BE USED TO DETERMINE ESTIMATED INFILTRATION ON THE SITE.
3. EXAMPLES OF STORMWATER FACILITIES THAT CAN BE USED TO MANAGE AND INFILTRATE THE WQCV INCLUDE BUT ARE NOT LIMITED TO, BIO-RETENTION AREAS, STORMWATER PLANTER BOXES, VEGETATED SWALES, INFILTRATION TRENCHES, INFILTRATION WELLS, PERMEABLE PAVEMENTS, CISTERNS AND RAINWATER HARVESTING SYSTEMS, AND GREEN ROOFS.

NOTE:

THE RUNOFF FLOW RATE, VELOCITY, AND VOLUME POST-DEVELOPMENT SHALL BE EQUAL TO OR LESS THAN THE PRE-DEVELOPMENT RUNOFF FLOW RATE AND VOLUME FOR THE 10-YEAR AND 100-YEAR EVENT. IF THIS CONDITION CANNOT BE MET SPECIAL APPROVAL MUST BE OBTAINED BY THE COUNTY PUBLIC WORKS DIRECTOR, AND THE APPLICATION MUST SHOW THAT ALL DOWNSTREAM FACILITIES ARE ADEQUATE TO CONVEY THE POST-DEVELOPMENT FLOWS.

RETENTION AREA FOR STORMWATER COLLECTION			
RETENTION AREA	AREA (FT ²)	DEPTH (IN)	VOLUME (FT ³)
AREA #1	806	5"	335.75
AREA #2	397	4"	132.33
AREA #3	415	5"	172.81

$$(collection\ area(ft^2) \times 0.65_{in}) \times \left(\frac{1ft}{12_{in}}\right) = collected\ water\ volume(ft^3)$$

STORMWATER RUNOFF AREA	
RUNOFF AREA	SQ FT
AREA #1	5,972
AREA #2	2,594
AREA #3	3,036

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

Section 3, Item 3

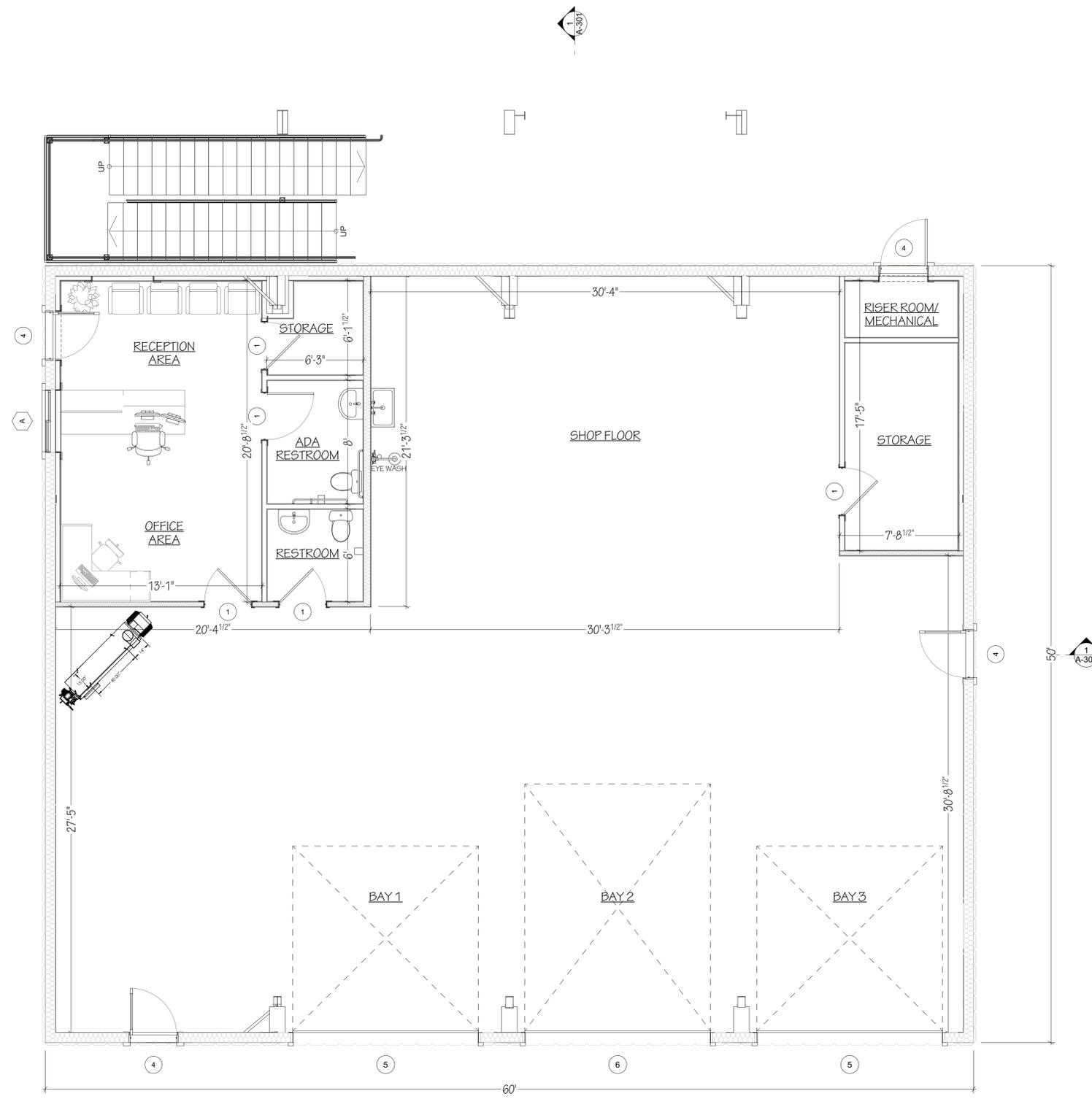
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127 E. Main St. Suite 111
Rexburg, ID 83440
www.southforkdesign.com
208-852-6236

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SOUTH FORK DESIGN

SHEET TITLE:	DESCRIPTION
SITE STORMWATER	
REVISION DATE	

1 MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"



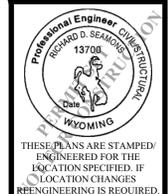
WINDOW SCHEDULE							
ID	TYPE	QTY	SIZE		HEAD HEIGHT	TEMPERED	NOTES
			W	HT			
A	TBD	1	4'	3'	6'-8"	---	
B	TBD	2	2'	2'	28'-10 1/2"	---	
C	TBD	9	4'	4'	28'-10 1/2"	---	

DOOR SCHEDULE						
ID	QTY	LOCATION	FIRE RATING	DOOR		NOTES
				W	HT	
1	18	Interior	---	3'	6'-8"	
2	4	Interior	---	4'	6'-8"	
3	1	Interior	---	6'	6'-8"	
4	7	Exterior	---	3'	6'-8"	
5	2	Exterior	---	12'	12'	
6	1	Exterior	---	12'	16'	

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

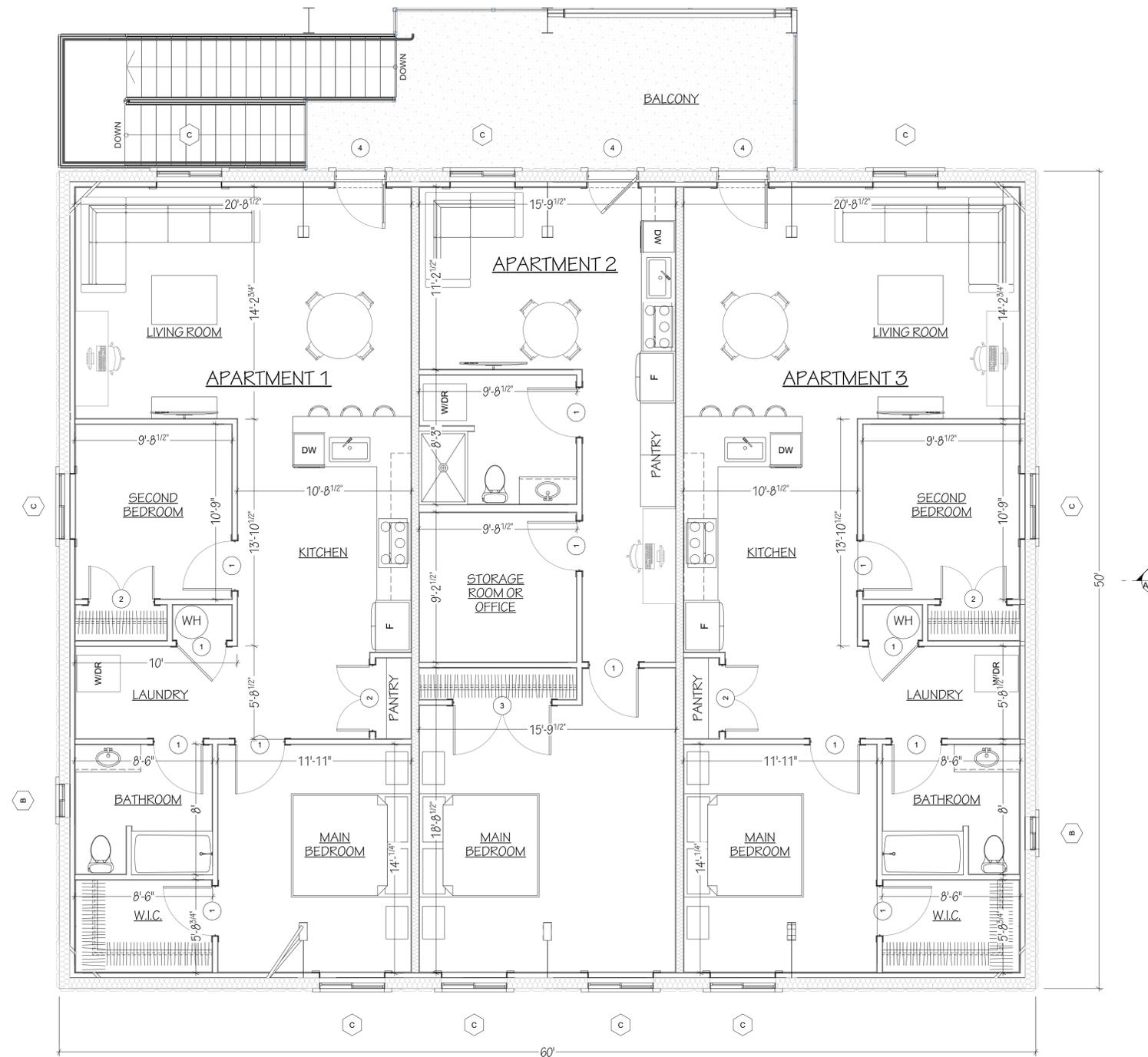
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REVISION DATE	DESCRIPTION

MAIN LEVEL
A-101
PLN# 25-01-0 22

SECOND LEVEL PLAN
SCALE: 1/4" = 1'-0"



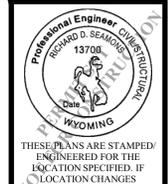
WINDOW SCHEDULE							
ID	TYPE	QTY	SIZE		HEAD HEIGHT	TEMPERED	NOTES
			W	HT			
A	TBD	1	4'	3'	6'-8"	---	
B	TBD	2	2'	2'	28'-10 1/2"	---	
C	TBD	9	4'	4'	28'-10 1/2"	---	

DOOR SCHEDULE						
ID	QTY	LOCATION	FIRE RATING	DOOR		NOTES
				W	HT	
1	18	Interior	---	3'	6'-8"	
2	4	Interior	---	4'	6'-8"	
3	1	Interior	---	6'	6'-8"	
4	7	Exterior	---	3'	6'-8"	
5	2	Exterior	---	12'	12'	
6	1	Exterior	---	12'	16'	

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

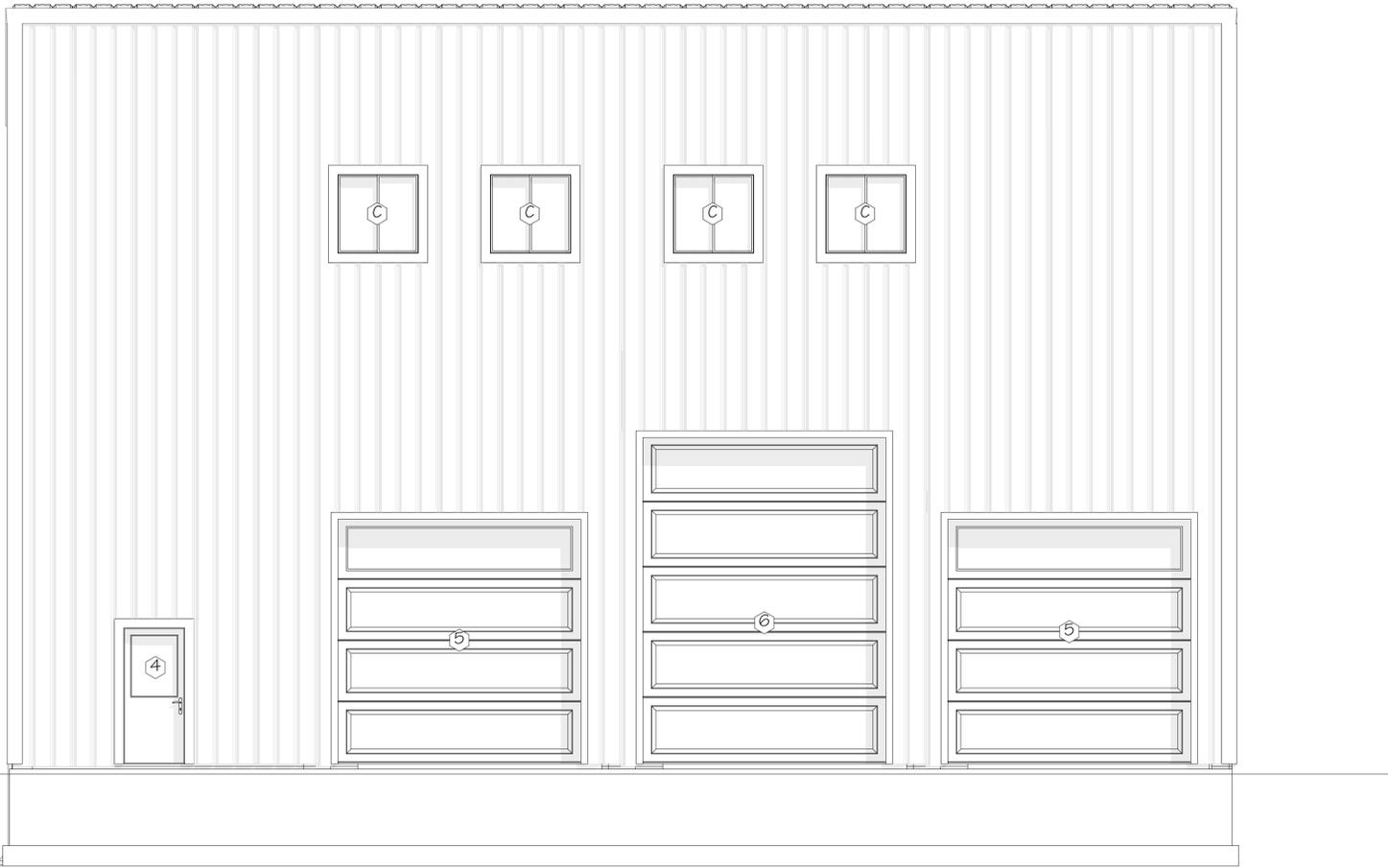
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SECOND LEVEL	
REVISION DATE	DESCRIPTION



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

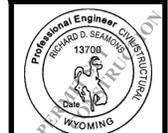


2 REAR ELEVATION
SCALE: 1/4" = 1'-0"

Section 3, Item:
ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

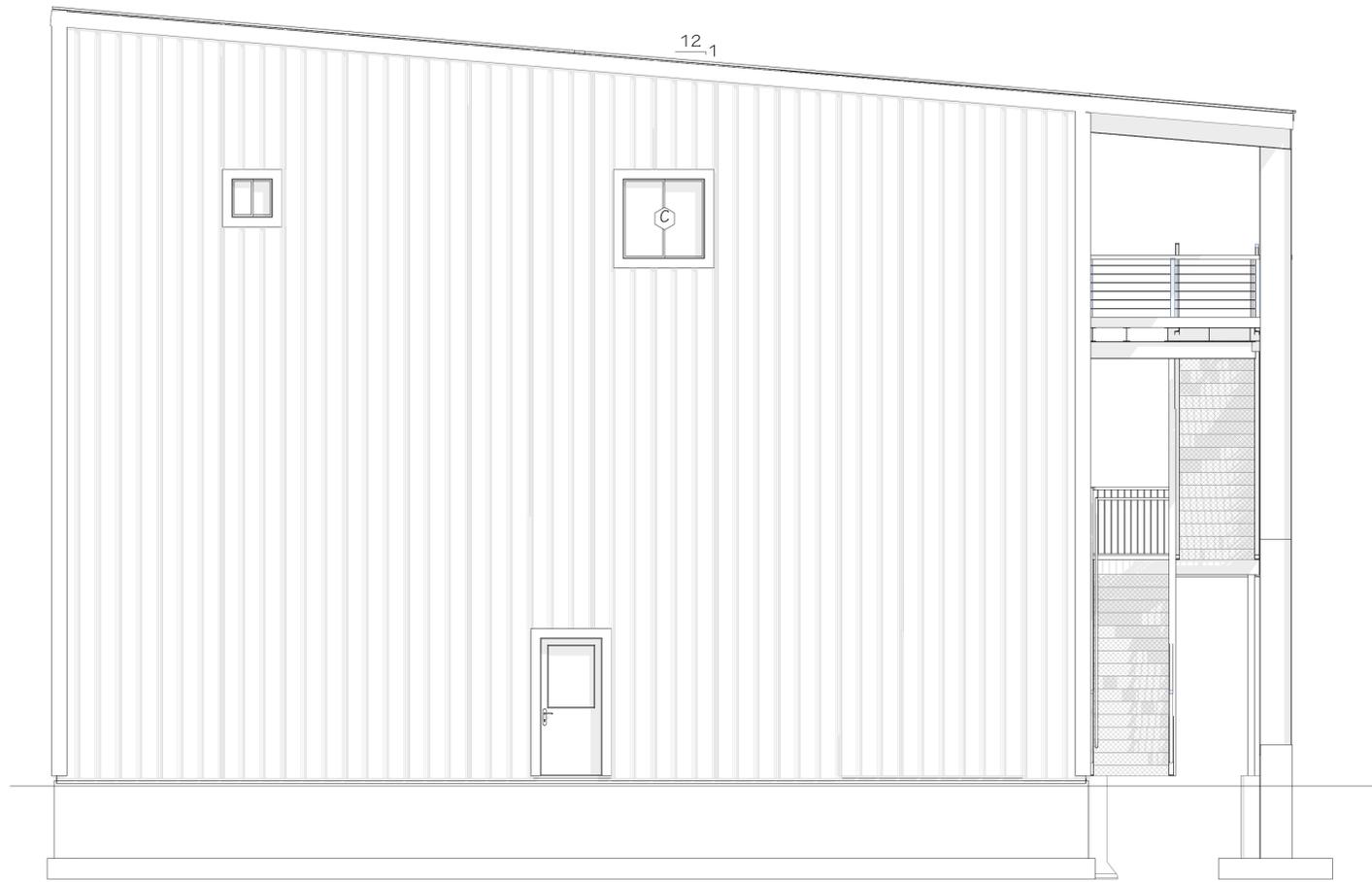
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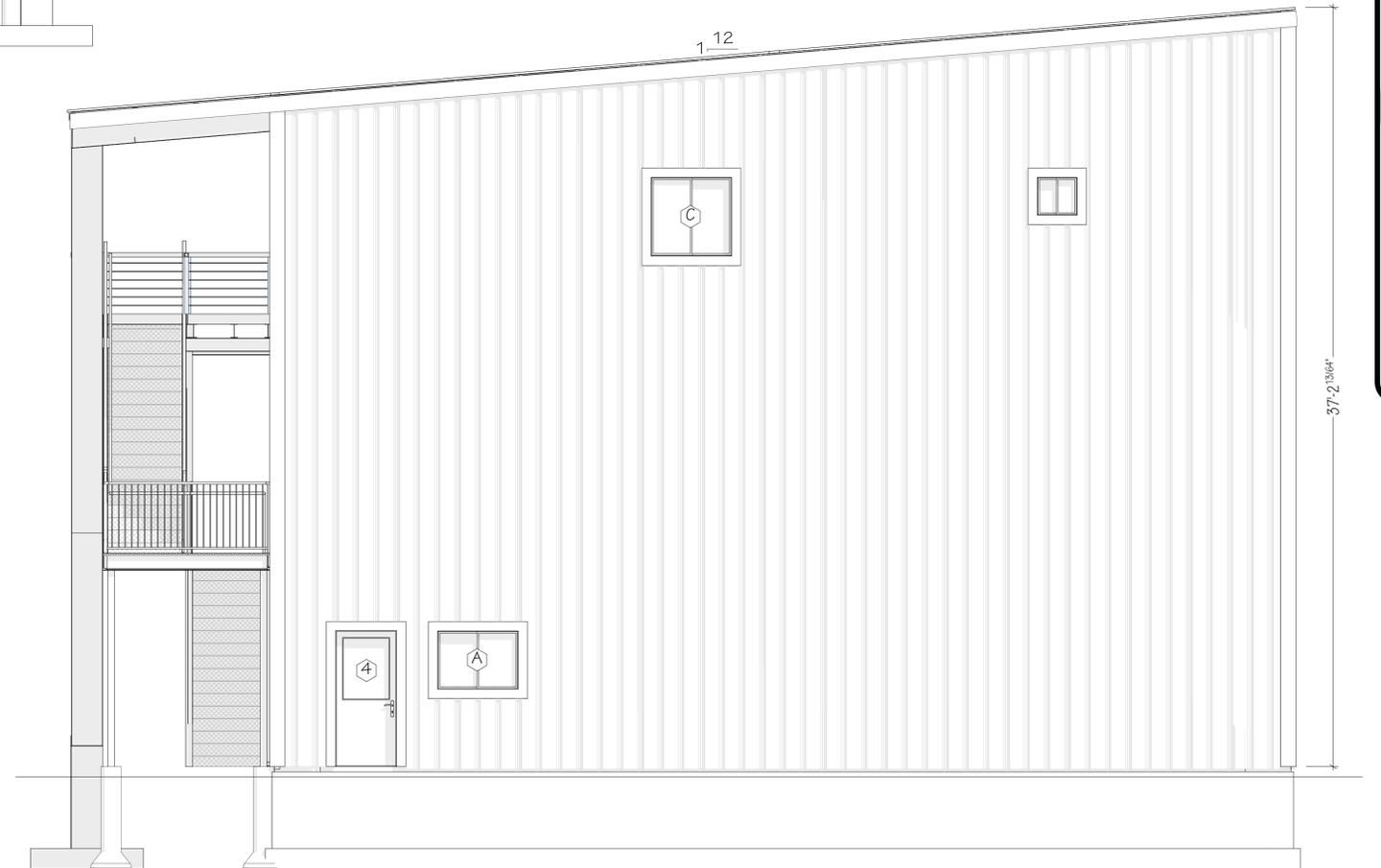


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ELEVATIONS	REVISION DATE	DESCRIPTION



1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

Section 3, Item:
ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

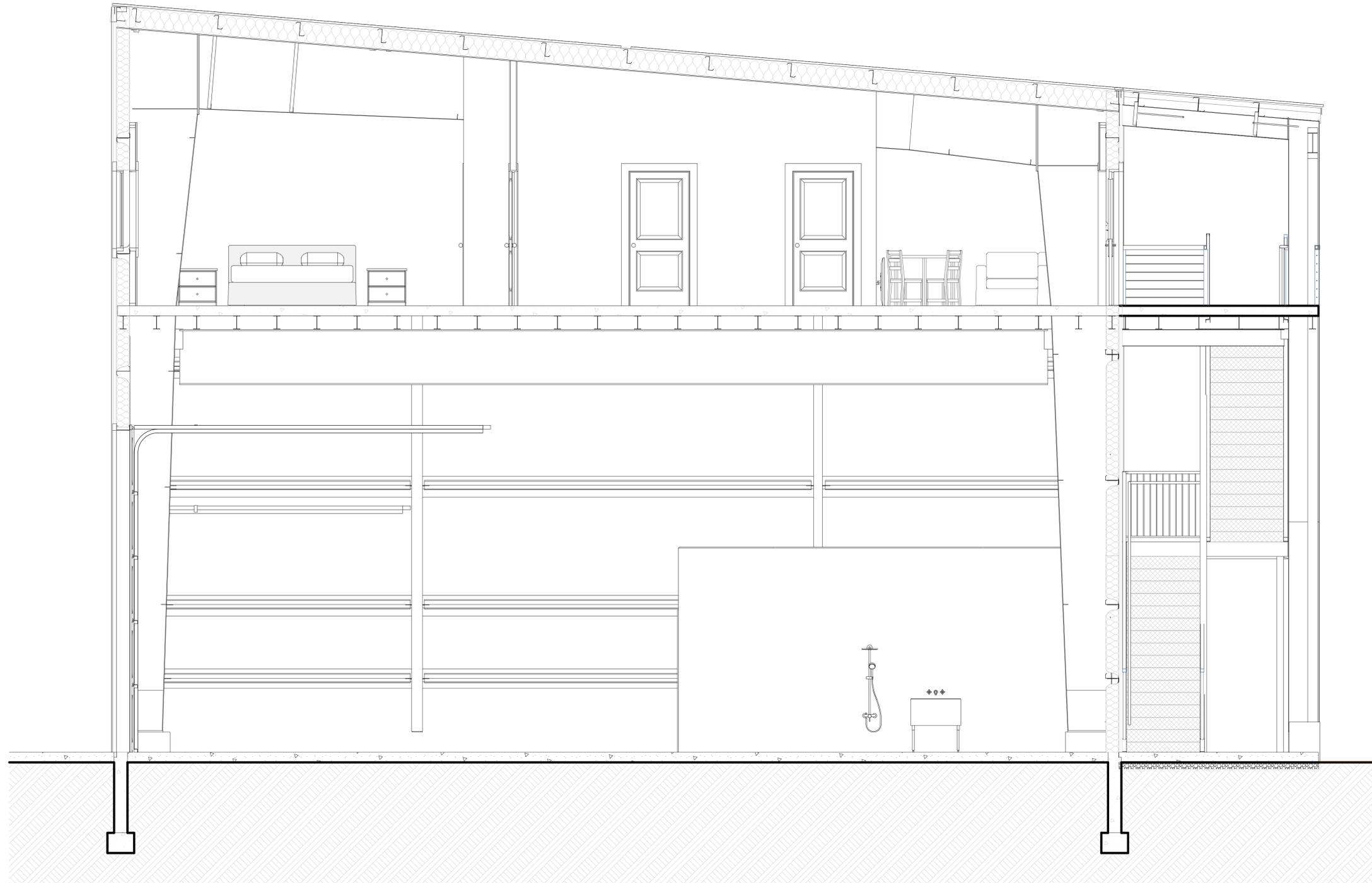
AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

South Fork Design Group, LLC
127 E. Main St. Suite 111
Rexburg, ID 83440
www.southforkdesign.com
208-852-6236



THESE PLANS ARE STAMPED
ENGINEERED FOR THE
LOCATION SPECIFIED. IF
LOCATION CHANGES
REENGINEERING IS REQUIRED.

ELEVATIONS	REVISION DATE	DESCRIPTION

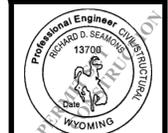


SECTION A
SCALE: 3/8" = 1'-0"

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

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REVISION DATE	DESCRIPTION

A-301
PLN# 25-01-0 26

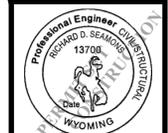


SECTION B
SCALE: 3/8" = 1'-0"

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

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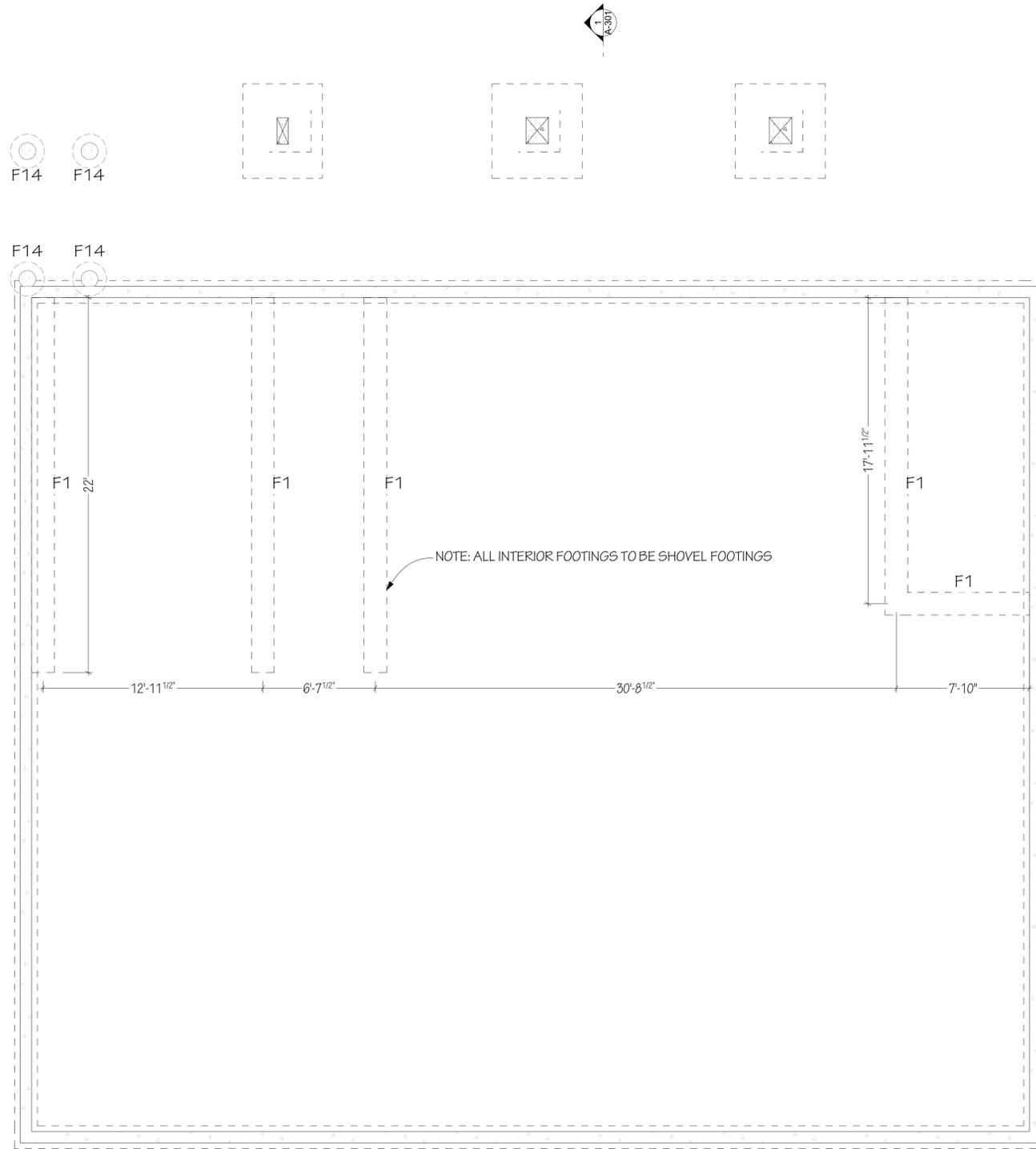


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REENGINEERING IS REQUIRED.

REVISION DATE	DESCRIPTION

A-302
PLN# 25-01-0 27

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

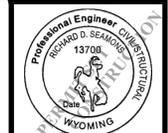


FOOTING SCHEDULE					
ID	WIDTH	DEPTH	FOOTING TYPE	FOOTING REBAR	PIER (IF REQUIRED)
F1	16"	8"	CONTINUOUS FOOTING	(2) #4 BAR CONT.	---
F14	---	---	BIGFOOT 24	SEE PIER REBAR FOR SIZING	12" SONOTUBE (4) #4 BAR #3 TIES 8" O.C. W/ #3 TIES @ 3" O.C. IN TOP 12".

Section 3, Item:
ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

South Fork Design Group, LLC
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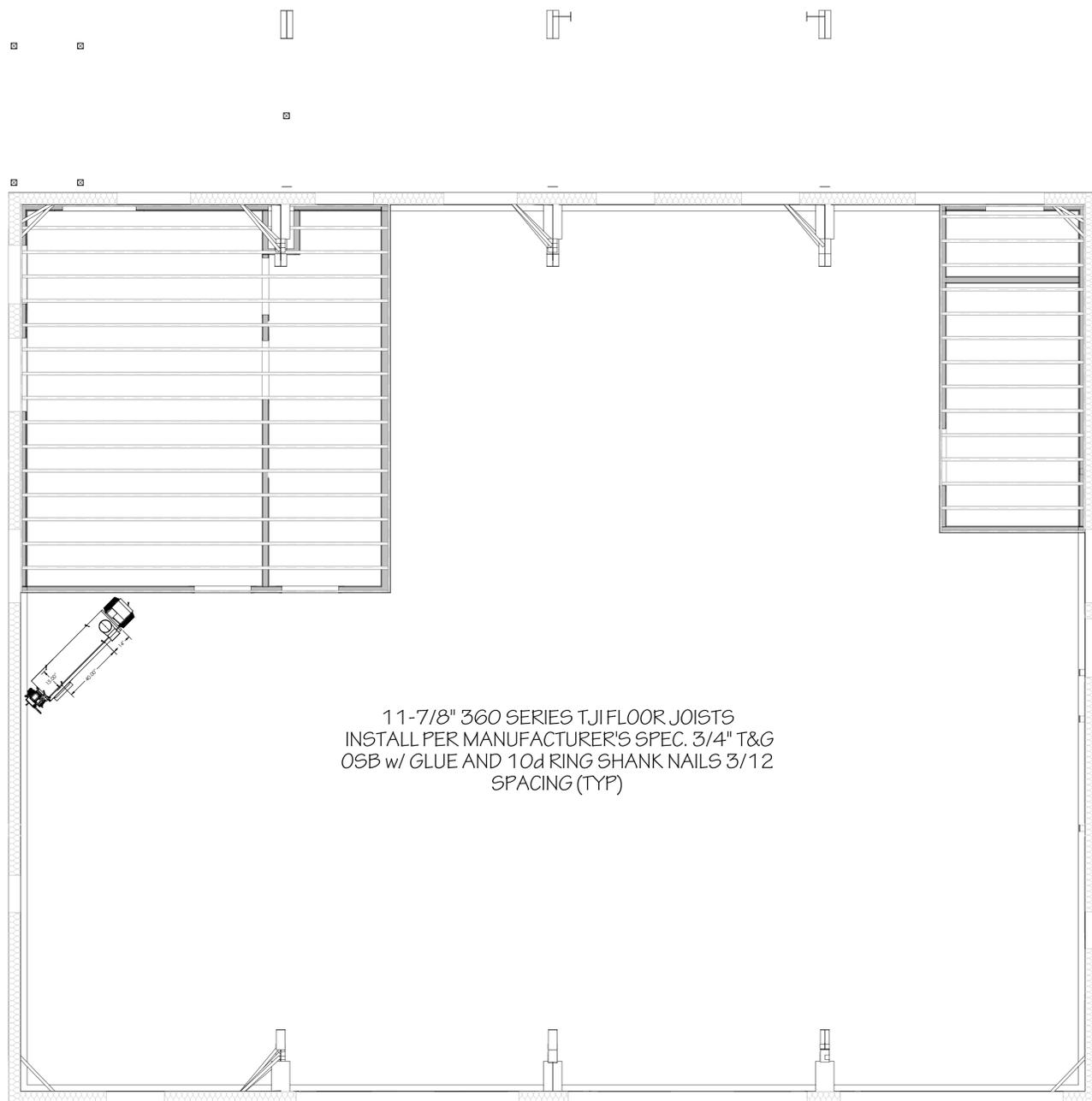
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REVISION DATE	DESCRIPTION

S-101
PLN# 25-01-0 28

SECOND LEVEL STORAGE LOFT
FRAMING

SCALE: 1/4" = 1'-0"

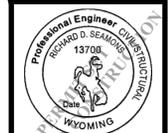


1 1-7/8" 360 SERIES TJI FLOOR JOISTS
INSTALL PER MANUFACTURER'S SPEC. 3/4" T&G
OSB w/ GLUE AND 10d RING SHANK NAILS 3/12
SPACING (TYP)

ENGINEER: RICHARD D SEAMONS	Section 3, Item:
EIT: ###	
DRAWN BY: BW	
CHKD BY: ###	
PLOT DATE: 5/16/2025	

AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

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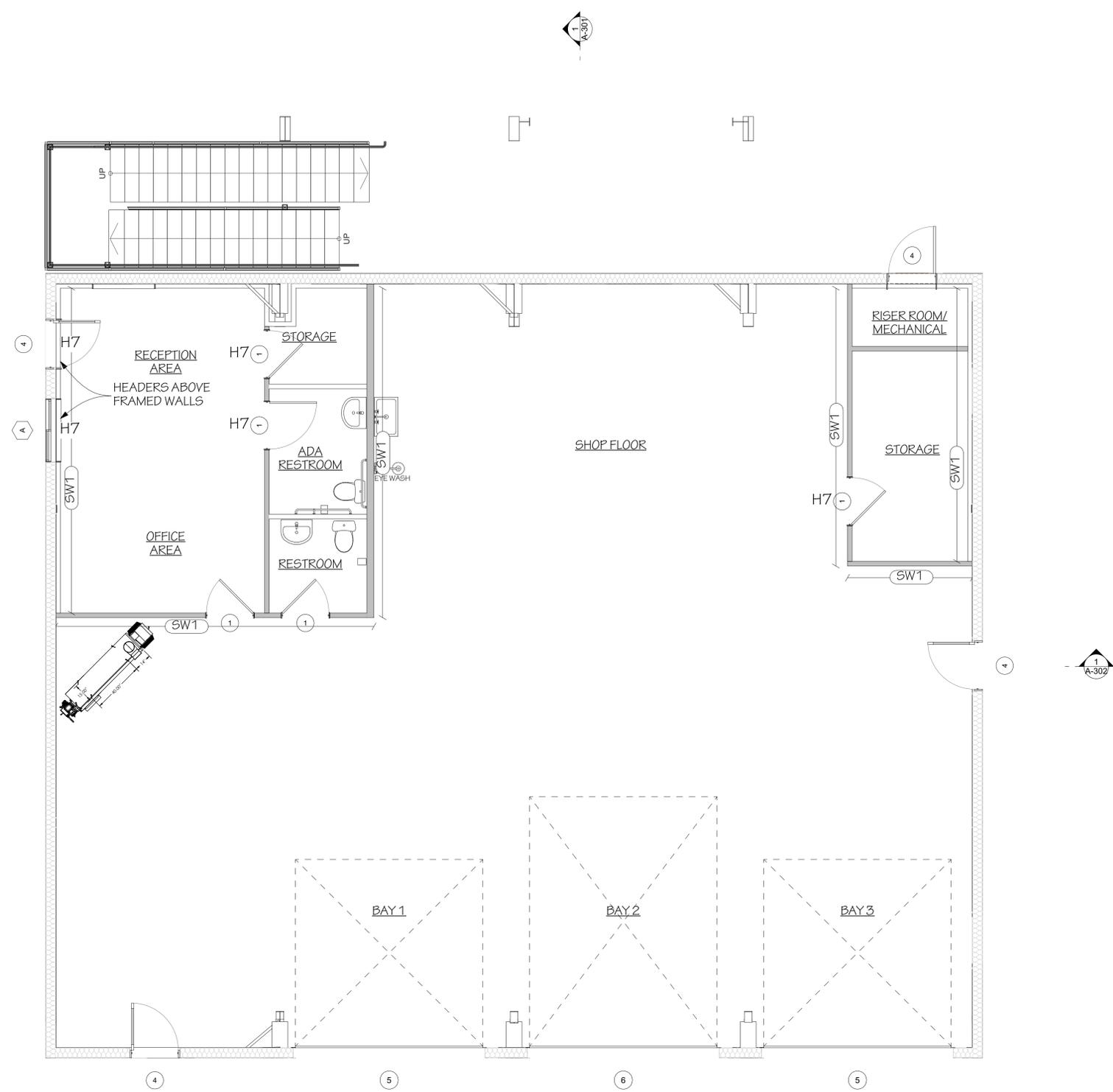


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STORAGE LOFT FRAMING	
REVISION DATE	DESCRIPTION

S-201
PLN# 25-01-0 29

MAIN LEVEL WALL FRAMING
SCALE: 1/4" = 1'-0"



HEADERS			
ID	PLY	SIZE	NOTE
H7	2	2X8 SPF	

SHEAR WALL SCHEDULE		
ID	LOCATION	TYPE
SW1	INTERIOR	7/16" OSB W/ 8d @ 6" O.C. ALL PANEL EDGES & 12" O.C. FIELD (NO STAPLE OPTION)

ENGINEER: RICHARD D SEAMONS
EIT: ###
DRAWN BY: BW
CHKD BY: ###
PLOT DATE: 5/16/2025

AFFITTAMI LLC - KATHERINE
KRESAN - AUTO SERVICE
ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3

South Fork Design Group, LLC
127 E. Main St. Suite 111
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208-852-6236



Professional Engineer
RICHARD D. SEAMONS
13700
WYOMING
THESE PLANS ARE STAMPED
ENGINEERED FOR THE
LOCATION SPECIFIED. IF
LOCATION CHANGES
REENGINEERING IS REQUIRED.

REVISION DATE	DESCRIPTION

S-301
PLN# 25-01-0 30

GAS-FIRED UNIT HEATER SCHEDULE

SYMBOL	MANUFACTURER	MODEL	LOCATION	TYPE	SUPPLY FAN		HEATING		ELECTRICAL		REMARKS
					CFM	ESP (IN. W.C.)	INPUT (MBH)	TEMP RISE (°F)	V/PH		
UH-1	ENERGY LOGIC	EL-140H	SHOP	WASTE OIL	1,000	140	100-120				

FAN SCHEDULE

SYMBOL	MANUFACTURER	MODEL	SERVES	TYPE	CFM	ESP (IN. W.C.)	ELECTRICAL			RPM	SONES	CONTROL	WEIGHT	REMARKS
							V/PH	HP (W)	FLA					
EF-1	GREENHECK	SP-A90	RESTROOM	DIRECT DRIVE CEILING	70	0.2	120/1	(11)	0.17	832	0.3	LIGHTS	12	1-2
EF-2	GREENHECK	SP-A90	ADA RESTROOM	DIRECT DRIVE CEILING	70	0.2	120/1	(11)	0.17	832	0.3	LIGHTS	12	1-2
EF-3	GREENHECK	SP-A90	STORAGE	DIRECT DRIVE CEILING	70	0.2	120/1	(11)	0.17	832	0.3	CONTINUOUS	12	1-2
EF-4	GREENHECK	SE1-16-426	SHOP	DIRECT DRIVE SIDEWALL	1,700	0.1	208/1	1/2	4	1,061	5.6	CARBON MONOXIDE SENSOR	34	1
EF-1-1	GREENHECK	SP-A90	RESTROOM	DIRECT DRIVE CEILING	70	0.2	120/1	(11)	0.17	832	0.3	LIGHTS	12	1-2
EF-2-1	GREENHECK	SP-A90	RESTROOM	DIRECT DRIVE CEILING	70	0.2	120/1	(11)	0.17	832	0.3	LIGHTS	12	1-2
EF-3-1	GREENHECK	SP-A90	RESTROOM	DIRECT DRIVE CEILING	70	0.2	120/1	(11)	0.17	832	0.3	LIGHTS	12	1-2

1. PROVIDE WITH SOLID STATE SPEED CONTROLLER MOUNTED ON FAN HOUSING AND FACTORY BACKDRAFT DAMPER. BACKDRAFT DAMPER NOT REQUIRED FOR FANS THAT OPERATE CONTINUOUSLY.
2. PROVIDE WITH WALL EXHAUST CAP.

ENERGY RECOVERY VENTILATOR SCHEDULE

SYMBOL	MANUFACTURER	MODEL	FAN		EFFECTIVENESS			ELECTRICAL		
			CFM	ESP (IN. W.C.)	TOTAL (SUMMER)	TOTAL (WINTER)	SENSIBLE	FAN WATTS	MOCP	V/PH
ERV-1	PANASONIC	FV-06VE1	30	0.25	60%	70%	70%	39	15	120/1
ERV-1-1	PANASONIC	FV-06VE1	30	0.25	60%	70%	70%	39	15	120/1
ERV-2-1	PANASONIC	FV-06VE1	30	0.25	60%	70%	70%	39	15	120/1
ERV-3-1	PANASONIC	FV-06VE1	30	0.25	60%	70%	70%	39	15	120/1

ELECTRIC HEATER SCHEDULE

SYMBOL	MANUFACTURER	MODEL	LOCATION	TYPE	CFM	ELECTRICAL		REMARKS
						V/PH	WATTS	
EH-1	QMARK	EFF	OFFICE	CEILING MOUNTED FAN-FORCED HEATER	150	208/1	4,000	2
EH-2	BERKO	GFR1000F	ADA RESTROOM	WALL HEATER	100	120/1	1,000	1
EH-3	BERKO	GFR1000F	FIRE RISER	WALL HEATER	100	120/1	1,000	1
EH-1-1	BERKO	GFR1000F	APARTMENT 1	WALL HEATER	100	120/1	1,000	2
EH-3-1	BERKO	GFR1000F	APARTMENT 3	WALL HEATER	100	120/1	1,000	2

1. PROVIDE WITH SURFACE-MOUNTING FRAME AND INTEGRAL SINGLE-POLE THERMOSTAT
2. PROVIDE WITH MOUNTING HARDWARE AND REMOTE THERMOSTAT.

HEAT PUMP SCHEDULE

SYMBOL	MANUFACTURER	MODEL	SERVES	TYPE	NOMINAL TONS	ELECTRICAL		EFFICIENCY (1)			REMARKS
						V/PH	RLA	SEER (SEER 2)	HSPF		
HP-1-1	DAIKIN	3MXL24	APARTMENT 1	HEAT PUMP, AIR-COOLED	2	208/60/1	9.3	17.9	12.5	1-4	
HP-2-1	DAIKIN	3MXL24	APARTMENT 2	HEAT PUMP, AIR-COOLED	2	208/60/1	9.3	17.9	12.5	1-4	
HP-3-1	DAIKIN	3MXL24	APARTMENT 3	HEAT PUMP, AIR-COOLED	2	208/60/1	9.3	17.9	12.5	1-4	

1. EFFICIENCY VALUES LISTED ARE BASED ON ARI CONDITIONS.
2. PIPING SIZED & INSTALLED PER MANUFACTURER'S REQUIREMENTS.
3. PROVIDE UNIT WITH HIGH PRESSURE SWITCH, LOW PRESSURE SWITCH, CRANKCASE HEATER, TIME-DELAY RELAY, AND CYCLE PROTECTOR.
4. CONDENSING UNIT TO SERVE MULTIPLE INDOOR UNITS. SEE FAN COIL SCHEDULE FOR MORE INFORMATION.

CEILING FAN SCHEDULE

SYMBOL	MANUFACTURER	MODEL	DIAMETER (FT)	TYPE	CLEARANCE (FT)		ELECTRICAL		RPM	CONTROL	WEIGHT	REMARKS
					ABOVE	SIDE	V/PH	MOCP				
CF-1	BIGASS FANS	POWERFOIL D	8	DIRECT DRIVE CEILING	4	2	208/1	10	200	VFD	212	1

1. PROVIDE WITH LED LIGHT KID MODEL 009769 5000K, WALL MOUNTED LOCKABLE SPEED CONTROLS AND FIRE SUPPRESSION PANEL TIE-IN RELAY.

LOUVER SCHEDULE

SYMBOL	MANUFACTURER	MODEL	SYSTEM	TYPE	FLOW (CFM)	SIZE		MIN. FREE AREA (FT2)	VELOCITY (FPM)	MOUNTING ELEVATION (IN) (3)	REMARKS
						WIDTH (IN)	HEIGHT (IN)				
L-1	GREENHECK	ESD-635	INTAKE	DRAINABLE FIXED BLADE	1,700	32	32	3.8	453	6	1.2

1. PROVIDE WITH FLANGED FRAME AND BIRDSCREEN. INSTALLED COMPLETE W/ SILL FLASHINGS TO SUIT WALL CONSTRUCTION. FACTORY PRIME COAT FINISH.
2. PROVIDE W/ 120V MOTORIZED DAMPER WITH END SWITCH.
3. MOUNT LOUVER WITH TOP OF LOUVER THIS DISTANCE BELOW THE CEILING. CONFIRM CEILING ELEVATION WITH ARCHITECTURAL PLANS.

FAN COIL SCHEDULE

SYMBOL	MANUFACTURER	MODEL	OUTDOOR UNIT TAG	SERVES	TYPE	NOMINAL TONS	MAX CFM	TOTAL COOLING CAPACITY	SENSIBLE COOLING CAPACITY	HEATING CAPACITY	CONDENSATE CONNECTION SIZE (IN)	WEIGHT (LBS)	REMARKS		
														FC-1-1	DAIKIN
FC-1-2	DAIKIN	CTXS07LVJU	WALL MOUNTED	0.5	350	22	1-5								
FC-1-3	DAIKIN	FTXS12LVJU	WALL MOUNTED	1	435										
FC-2-1	DAIKIN	CTXS07LVJU	HP-2	APARTMENT 2	WALL MOUNTED	0.5	350	28.8	18.0	13.0	5/8	20	1-5		
FC-2-2	DAIKIN	CTXS07LVJU			WALL MOUNTED	0.5	350							22	1-5
FC-2-3	DAIKIN	FTXS12LVJU			WALL MOUNTED	1	435								
FC-3-1	DAIKIN	CTXS07LVJU	HP-3	APARTMENT 3	WALL MOUNTED	0.5	350	28.8	18.0	13.0	5/8	20	1-5		
FC-3-2	DAIKIN	CTXS07LVJU			WALL MOUNTED	0.5	350							22	1-5
FC-3-3	DAIKIN	FTXS12LVJU			WALL MOUNTED	1	435								

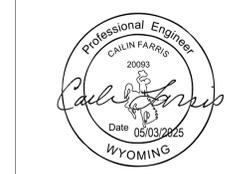
1. RATED COOLING CAPACITY, IN MBH, BASED ON 80°F DB/67°F WB INDOOR CONDITIONS AND 95°F AMBIENT. COOLING CAPACITY IS SHOWN AS A COMBINED TOTAL FOR THE ASSOCIATED HEAT PUMP.
2. RATED HEATING CAPACITY, IN MBH, BASED ON 70°F DB/60°F WB INDOOR CONDITIONS AND -13°F AMBIENT. HEATING CAPACITY IS SHOWN AS A COMBINED TOTAL FOR THE ASSOCIATED HEAT PUMP.
3. PROVIDE UNIT WITH REFRIGERANT. MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL REFRIGERANT LINE SETS, SIZED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
4. PROVIDE WITH FACTORY WIRED THERMOSTAT.
5. PROVIDE WITH ASPEN PUMPS MINI BLANC CONDENSATE PUMP.

REVISION HISTORY

REV	DATE	DESCRIPTION

MECHANICAL ENGINEER
 CAILIN FARRIS
 (720) 319-1046
 CAILIN@FARRISCONSULTANTS.COM

ELECTRICAL ENGINEER
 MARK OWENS
 (208) 709-3111
 MOWENS@XLENGINEERING.NET



NAME AND DATE FOR CURRENT RELEASE ONLY

DESIGN:	DATE:
CWF	5/5/25
APPROVED:	DATE:
CWF	5/5/25

XL ENGINEERING
 IDAHO FALLS, IDAHO
 AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 MECHANICAL SCHEDULES

PROJECT NUMBER: 240139
 DWG- M0.1

D

C

B

A

MECHANICAL SPECIFICATIONS

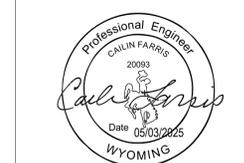
Main table containing mechanical specifications for systems, ductwork, piping, and equipment. Includes sections for general provisions, systems, ductwork, piping, and vibration isolation.

REVISION HISTORY

REV. DATE DESCRIPTION

MECHANICAL ENGINEER
CAILIN FARRIS
(720) 319-1046
CAILIN@FARRISCONSULTANTS.COM

ELECTRICAL ENGINEER
MARK OWENS
(208) 709-3111
MOWENS@XLENGINEERING.NET



NAME AND DATE FOR CURRENT RELEASE ONLY
DESIGN: CWF DATE: 5/5/25
APPROVED: CWF DATE: 5/5/25

XL ENGINEERING
IDAHO FALLS, IDAHO
AUTO SERVICE ELEVATED
PARCEL NO: 3718203004500
ELK MEADOWS ADDITION LOT: 3
MECHANICAL SPECIFICATIONS

PROJECT NUMBER: 240139
DWG- M0.2

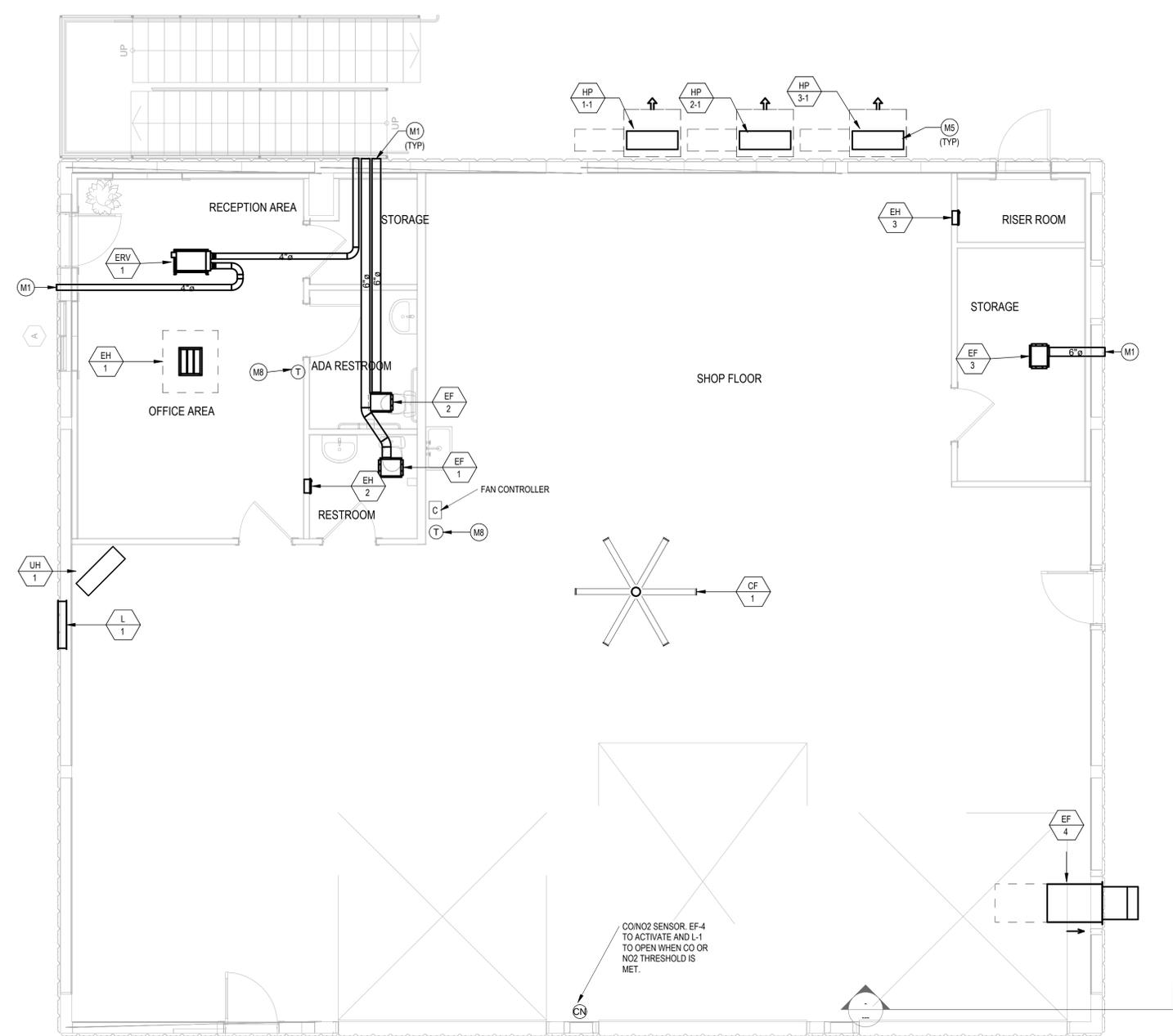
D

C

B

A

8 7 6 5 4 3 2 1



1 MECHANICAL DUCTWORK PLAN - LEVEL 1
1/4" = 1'-0"

KEYNOTES

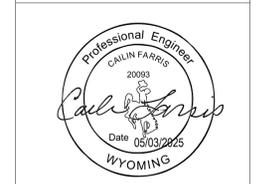
- M1 TERMINATE DUCT AT WALL OR SOFFIT WITH APPROVED SCREENED CAP UNLESS NOTED OTHERWISE.
- M5 INSTALL CONDENSERS ON CONCRETE EQUIPMENT PAD. MAINTAIN CLEARANCE PER MANUFACTURER'S RECOMMENDATION. AVOID ROOF DRIP LINE.
- M8 THERMOSTAT TO BE LOCATED 48" A.F.F. VERIFY LOCATION WITH OWNER BEFORE INSTALLING.

REVISION HISTORY

REV	DATE	DESCRIPTION

MECHANICAL ENGINEER
 CAILIN FARRIS
 (720) 319-1046
 CAILIN@FARRISCONSULTANTS.COM

ELECTRICAL ENGINEER
 MARK OWENS
 (208) 709-3111
 MOWENS@XLENGINEERING.NET



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XL ENGINEERING
 IDAHO FALLS, IDAHO
 AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 MECHANICAL PLAN - LEVEL 1

PROJECT NUMBER: 240139
 DWG: M1.1

8 7 6 5 4 3 2 1

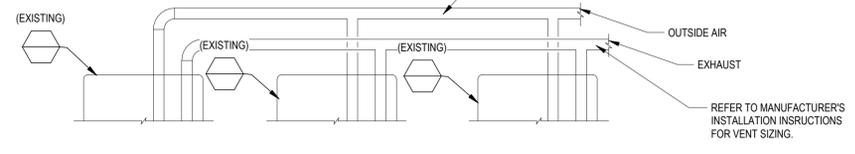
3 OUT OF WALL COMBINATION FIRE SMOKE DAMPER
NTS

6 DUCTWORK CONSTRUCTION DETAILS
NTS

5 ROOF JACK FOR PIPES THRU ROOF
NTS

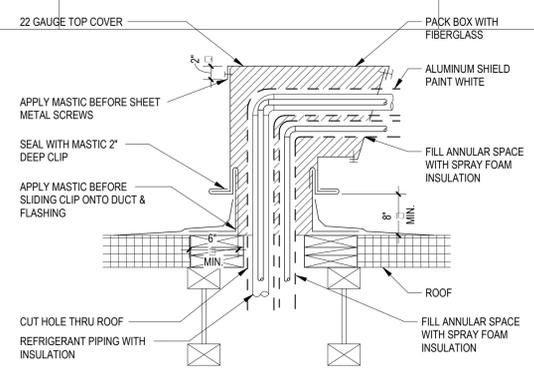
2 FIRE SMOKE DAMPER DETAIL
NTS

NO MORE THAN THREE WATER HEATERS MAY BE CONNECTED ON THE COMMON VENTING KIT.



1 WATER HEATER COMMON VENTING KIT DETAIL
NTS

5 ROOF JACK FOR PIPES THRU ROOF
NTS



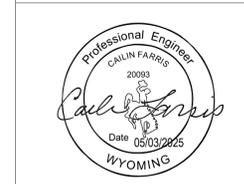
NOTE:
PAINT ALL EXPOSED SHEET METAL PARTS WITH WEATHER RESISTANT PAINT PER ARCH DRAWINGS.

REVISION HISTORY

REV	DATE	DESCRIPTION

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DESIGN: CWF	DATE: 5/5/25
APPROVED: CWF	DATE: 5/5/25

XL ENGINEERING
IDAHO FALLS, IDAHO
AUTO SERVICE ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3
MECHANICAL DETAILS

PROJECT NUMBER: 240139
DWG- M5.0

D

C

B

A

FIXTURE SCHEDULE

SYMBOL	LOCATION	DESCRIPTION	MANUFACTURER & MODEL NUMBER	SANITARY CONNECTIONS (IN)		WATER CONNECTIONS (IN)		REMARKS
				WASTE	VENT	HOT	COLD	
BT-1	DWELLING UNITS	TUB / SHOWER	KOHLER K-837 OR K-838	2	2	1/2	1/2	LEFT OR RIGHT HAND CONFIGURATION BASED ON UNIT TYPE. CONTRACTOR SHALL BE RESPONSIBLE FOR COUNTING THE NUMBER OF REQUIRED LEFT AND RIGHT HAND DRAIN CONFIGURATIONS PRIOR TO ORDERING.
		TRIM / SPOUT / SHOWER HEAD	KOHLER K-TS27421-4					CHROME FINISH.
		MIXING VALVE	KOHLER K-8304-K					-
		DRAIN & OVERFLOW PROTECTION	WATCO 900-PPSF-0-CP					CHROME FINISH.
DW-1	DWELLING UNITS	DISHWASHER	GE PDT715SYNFS	-	-	1/2	-	-
HB-1	SEE PLANS	FROST-PROOF HOSE BIBB	WOODFORD B65	-	-	-	3/4	PROVIDE WITH ISOLATION VALVE AND VACUUM BREAKER.
IM-1	SEE PLANS	ICE MAKER OUTLET BOX	SIoux CHIEF 696 SERIES	-	-	-	1/2	PROVIDE WITH NO-LEAD BRASS VALVES, HAMMER ARRESTER AND STANDARD FRAME PACK.
KS-1	DWELLING UNITS	DROP IN KITCHEN SINK	ELKAY DSE2323DFBG	2	2	1/2	1/2	PROVIDE WITH MXV-1.
		STRAINER	INCLUDED WITH UNIT					-
		FAUCET	INCLUDED WITH UNIT					-
		GARBAGE DISPOSAL	BADGER 500					1/2 HP / 120 V / 6.3 AMPS.
LAV-1	DWELLING UNITS	DROP IN LAVATORY SINK	KOHLER K-2196-4	2	2	1/2	1/2	WHITE FINISH. PROVIDE WITH MXV-1.
		FAUCET & DRAIN	KOHLER K-27389-4N					CHROME FINISH.
LAV-2	RESTROOMS	WALL HUNG LAVATORY SINK	KOHLER K-2007	2	2	1/2	1/2	WHITE FINISH. PROVIDE WITH MXV-1.
		FAUCET	CHICAGO FAUCET 116.606.AB.1					CHROME FINISH.
		STRAINER	KOHLER K-7129					CHROME FINISH.
		P-TRAP COVER	TRUEBROS EZ-102					-
		PLATE CARRIER	ZURN Z1224-2					-
MXV-1	SEE PLANS	4 PORT THERMOSTATIC MIXING VALVE	LEONARD 170D-LF	-	-	3/8	3/8	PROVIDE WITH CHECKSTOPS, OUTLET BALL VALVE AND DIAL THERMOMETER. SET TO 110°F DELIVERY TEMPERATURE.
PRV-1	SEE PLANS	PRESSURE REDUCING VALVE	WATTS LF223 SERIES	-	-	-	2	PRESSURE SET TO 80 PSI.
RPZ-1	SEE PLANS	REDUCED PRESSURE BACKFLOW PREVENTER	WATTS LF009	-	-	-	2	-
S-1	SEE PLANS	UTILITY SINK	ELKAY B1C18X18X	2	2	1/2	1/2	-
		FAUCET	ELKAY LK940BP03T4S					-
SH-1	SEE PLANS	SHOWER BASE	KOHLER K-8649	2	2	1/2	1/2	WHITE FINISH.
		DRAIN	KOHLER K-9132					CHROME FINISH.
		SHOWER KIT	KOHLER K-TS27420-4					CHROME FINISH.
		MIXING VALVE	KOHLER K-8304-K					-
WB-1	LAUNDRY ROOM	WASHING MACHINE OUTLET BOX	SIoux CHIEF 696 SERIES	2	2	1/2	1/2	PROVIDE WITH NO-LEAD BRASS VALVES, HAMMER ARRESTER, STANDARD FRAME PACK AND DRAINAGE BOX.
WC-1	RESTROOMS	TANK TYPE WATER CLOSET	KOHLER K-31621-0	3	2	-	1/2	WHITE FINISH.
		SEAT	KOHLER K-20110-0					WHITE FINISH.
WC-2	RESTROOMS	TANK TYPE WATER CLOSET (ACCESSIBLE)	KOHLER K-3999-0	3	2	-	1/2	WHITE FINISH.
		SEAT	KOHLER K-20110-0					WHITE FINISH.

EXPANSION TANK SCHEDULE

SYMBOL	MANUFACTURER	MODEL	LOCATION	TANK VOLUME (GAL)	ACCEPTANCE VOLUME (GAL)	WATER CONNECTION (IN)	REMARKS
ET-1	AMTROL	ST-5-C	MECHANICAL ROOM	2.1	0.9	1/2	1
ET-2	AMTROL	ST-5-C	MECHANICAL ROOM	2.1	0.9	1/2	1
ET-3	AMTROL	ST-5-C	MECHANICAL ROOM	2.1	0.9	1/2	1
ET-4	AMTROL	ST-5-C	MECHANICAL ROOM	2.1	0.9	1/2	1

1. THE CHARGE PRESSURE SHALL BE SET TO THE STATIC PRESSURE OF THE SYSTEM WHERE THE EXPANSION TANK IS INSTALLED.

ELECTRIC WATER HEATER SCHEDULE

SYMBOL	MANUFACTURER	MODEL	LOCATION	CAPACITY					ELECTRICAL REQUIREMENTS	REMARKS
				KW	TANK VOLUME (GAL)	RECOVERY RATE AT 90°F RISE (GPH)	LEAVING WATER TEMPERATURE (°F)	UEF		
WH-1	AO SMITH	EJC-10	ADA RESTROOM	1.65	10	8	120	N/A	120/1	1-2
WH-2	AO SMITH	ENSB-30	MECHANICAL CLOSET	4.5	30	21	120	0.91	240/1	1-2
WH-3	AO SMITH	ENSB-30	MECHANICAL CLOSET	4.5	30	21	120	0.91	240/1	1-2
WH-4	AO SMITH	ENSB-30	MECHANICAL CLOSET	4.5	30	21	120	0.91	240/1	1-2

- PROVIDE WITH SEISMIC STRAPS AND DRAIN PAN. ROUTE T&P PIPING TO NEAREST MOP SINK OR FLOOR DRAIN WITHOUT CROSSING A WALKWAY.
- PROVIDE WITH EXPANSION TANK. SEE EXPANSION TANK SCHEDULE FOR EXACT MANUFACTURER AND MODEL.

REVISION HISTORY

REV DATE DESCRIPTION

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NAME AND DATE FOR CURRENT RELEASE ONLY

DESIGN: CWF DATE: 5/5/25
 APPROVED: CWF DATE: 5/5/25

XL ENGINEERING
 IDAHO FALLS, IDAHO

AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 PLUMBING SCHEDULES

PROJECT NUMBER: 240139
 DWG- P0.1

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PLUMBING SPECIFICATIONS

Table with columns for PLUMBING GENERAL PROVISIONS, PLUMBING SPECIFICATIONS, and REVISION HISTORY. Includes sections for PART 1 - GENERAL, PART 2 - PRODUCTS, and PART 3 - EXECUTION.

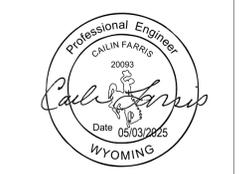
REVISION HISTORY

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XL ENGINEERING
IDAHO FALLS, IDAHO
AUTO SERVICE ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3
PLUMBING SPECIFICATIONS

PROJECT NUMBER: 240139
DWG- P0.2

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SYMBOLS

	CONDUIT CONTINUATION		EMERGENCY EXIT SIGN WITH BATTERY BACKUP: SHADED QUARTER OF SYMBOL INDICATES LIGHTED 'EXIT' ON THAT FACE ARROWS INDICATE LIGHTED DIRECTIONAL ARROW ON THAT FACE. CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		(2) PORT RJ-45 DATA OUTLET WITH (2) HOMERUNS TO SERVER
	CONDUIT CONCEALED IN WALL OR CEILING		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		MOTOR CONNECTION
	CONDUIT EXISTING		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		STARTER OR CONTACTOR: SIZE AS REQUIRED BY EQUIPMENT MANUFACTURER
	CONDUIT CONCEALED UNDERGROUND		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		COMBINATION MOTOR STARTER/DISCONNECT: SIZE AS REQUIRED BY EQUIPMENT MANUFACTURER
	HOMERUN		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		DISCONNECT SWITCH: SIZE AS REQUIRED BY EQUIPMENT MANUFACTURER F=FUSED, BLANK=UNFUSED
	CONDUIT STUB DOWN		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		SWITCH/DISCONNECT CONFIGURATION DESIGNATION
	STUB THROUGH		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		NUMBER OF POLES
	CONDUIT STUB UP		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		AMPERE RATING OF THE SWITCH
	JUNCTION BOX (NEW, EXISTING, DEMO)		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		NEMA CLASSIFICATION
	ELECTRICAL DISTRIBUTION PANELBOARD		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		THERMOSTAT OR TEMPERATURE SENSOR: SEE MECHANICAL DRAWINGS FOR LOCATIONS FURNISH AND INSTALL BACKBOX AND 1" TO ABOVE ACCESSIBLE CEILING. COORDINATE INSTALLATION WITH MECHANICAL
	EQUIPMENT ENCLOSURE AS NOTED		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		DUCT TYPE SMOKE DETECTOR: SEE MECHANICAL DRAWINGS FOR LOCATIONS VERIFY REQUIREMENTS WITH MECHANICAL AND FIRE PROTECTION FURNISH AND INSTALL ALL ELECTRICAL REQUIRED FOR COMPLETE OPERATIONAL SYSTEM
	SIMPLEX RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		SMOKE DAMPER: SEE MECHANICAL DRAWINGS FOR LOCATIONS VERIFY REQUIREMENTS WITH MECHANICAL AND FIRE PROTECTION FURNISH AND INSTALL ALL ELECTRICAL REQUIRED FOR COMPLETE OPERATIONAL SYSTEM
	DUPLEX RECEPTACLE (NEW, EXISTING, DEMO)		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		SMOKE/CO DETECTOR: KIDDE 112010SCO (OR APPROVED EQUIVALENT)
	DOUBLE DUPLEX RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		MECHANICAL EQUIPMENT CALLOUT
	OVER-COUNTER RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		KEYED NOTES CALLOUT
	CONTROLLED RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		REVISION DELTA
	GFCI RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	GFCI OVER-COUNTER RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	GFCI CONTROLLED RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	WEATHERPROOF GFCI RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	OVER-COUNTER WEATHERPROOF GFCI RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	ISOLATED GROUND RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	USB CHARGER/DUPLEX RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	OVER-COUNTER USB CHARGER/DUPLEX RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	CONTROLLED USB CHARGER/DUPLEX RECEPTACLE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	HORIZONTAL FACEPLATE		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	FLOOR RECEPTACLES: FLUSH WITH COVER		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	FLUSH FLOOR BOX		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	DUPLEX RECEPTACLE, COMM/DATA, AV		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	CEILING RECEPTACLE: FLUSH WITH CEILING		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	SPECIAL ELECTRICAL CONNECTION: COORDINATE REQUIREMENTS WITH EQUIPMENT BEING SERVED		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	CEILING OCCUPANCY SENSOR		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	INTERIOR DAYLIGHT SENSOR		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		
	EXTERIOR PHOTOCCELL		EMERGENCY LIGHTING (SURFACE, RECESSED) CONNECT TO UNSWITCHED LOCAL LIGHTING CIRCUIT		

ELECTRICAL ABBREVIATIONS

#C	SIZE OF TRADE SIZE CONDUIT. # = 1/2", 2".	MLO	MAIN LUG ONLY
#P	NUMBER OF POLES. # = 1P, 2P, ETC.	N/A	NOT APPLICABLE
#W	NUMBER OF WIRES. # = 3W, 4W, ETC.	NC	NORMALLY CLOSED
A	AMPERE	NEC	NATIONAL ELECTRICAL CODE
AC	ALTERNATING CURRENT	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
ADA	AMERICANS WITH DISABILITIES ACT	NESC	NATIONAL ELECTRICAL SAFETY CODE ASSOCIATION
AFF	ABOVE FINISHED FLOOR	NO	NORMALLY OPEN
AFG	ABOVE FINISHED GRADE	NO	NUMBER
AHJ	AUTHORITY HAVING JURISDICTION	NRTL	NATIONALLY RECOGNIZED TESTING LABORATORY - AS DEFINED BY OSHA
AIC	AMPERE INTERRUPTING CAPACITY	O.H.	OPPOSITE HAND - MIRRORRED OR ROTATED LAYOUT
AL	ALUMINUM	OC	OVER COUNTER TOP BACKSPASH - COORDINATE INSTALLATION
ANN	ANNUNCIATOR	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
AUX	AUXILIARY	PF	POWER FACTOR
AWG	AMERICAN WIRE GAUGE	PH	PHASE
C	CONDUIT	REV	REVISION
CB	CIRCUIT BREAKER	RTU	ROOF TOP UNIT
CD	CANDELLA	SPDT	SINGLE POLE, DOUBLE THROW
CLG	CEILING	SPST	SINGLE POLE, SINGLE THROW
CT	CURRENT TRANSFORMER	SST	SOFT START/STOP MOTOR STARTER
CU	COPPER	TTB	TELEPHONE TERMINAL BOARD
DC	DIRECT CURRENT	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
DPDT	DOUBLE POLE, DOUBLE THROW	TYP	TYPICAL
DPST	DOUBLE POLE, SINGLE THROW	UON	UNLESS OTHERWISE NOTED
EMT	ELECTRICAL METALLIC TUBING	UPS	UNINTERRUPTABLE POWER SUPPLY
EP	EXPLOSION PROOF	USB	UNIVERSAL SERIAL BUS
EWH	ELECTRIC WATER HEATER	V	VOLTAGE
F	FUSE	VA	VOLT-AMPERE
FACP	FIRE ALARM CONTROL PANEL	VFD	VARIABLE FREQUENCY MOTOR DRIVE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WP	WEATHERPROOF
GFI	GROUND FAULT INTERRUPTER	XFMR	TRANSFORMER
GND	GROUND	XFR	TRANSFER SWITCH
HOA	HAND-OFF-AUTO		
HP	HORSE POWER		
HVAC	HEATING VENTILATION AND AIR CONDITIONING		
I/O	INPUT / OUTPUT		
IG	ISOLATED GROUND		
INC	INCANDESCENT		
J-BOX	JUNCTION BOX		
KCMIL	THOUSAND CIRCULAR MIL		
KO	KNOCK OUT		
KV	KILOVOLT		
KVA	KILOVOLT AMPERE		
KW	KILOWATT		
KWH	KILOWATT HOUR		
LV	LOW VOLTAGE		
MCC	MOTOR CONTROL CENTER		
MDSB	MAIN DISTRIBUTION SWITCHBOARD		
MFR	MANUFACTURER		

DRAWING INDEX

E00	ELECTRICAL SYMBOLS & ABBREV.
E01	RISER, SCHED., LOAD CALCS & DETAILS
E02	LIGHTING AND PANEL SCHEDULES
E03	ENERGY COMPLIANCE FORMS
E11	LIGHTING PLAN LEVEL 1
E12	LIGHTING PLAN LEVEL 2
E21	POWER PLAN LEVEL 1
E22	POWER PLAN LEVEL 2
E31	MECHANICAL POWER PLAN LEVEL 1
E32	MECHANICAL POWER PLAN LEVEL 2

GENERAL NOTES:

- A. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCALLY ADOPTED ELECTRICAL CODE, ALL LOCAL CODES, AND TO THE FULL ACCEPTANCE OF THE AUTHORITY HAVING JURISDICTION. WHENEVER THE REQUIREMENTS OF THE ELECTRICAL SPECIFICATIONS OR DRAWINGS EXCEED THOSE OF THE APPLICABLE CODES OR STANDARDS, THE REQUIREMENTS OF THE SPECIFICATIONS AND DRAWINGS SHALL GOVERN.
- B. BIDDERS SHALL VIEW THE SITE AND SHALL INCLUDE ALL COSTS INCURRED BY EXISTING CONDITIONS IN THE BID PROPOSAL. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL RELEVANT BID DOCUMENTS, BID FORMS AND SPECIFICATIONS. ANY INCREASED COST INCURRED DUE TO FAILURE TO BECOME FAMILIAR WITH THESE DOCUMENTS SHALL BE BORNE BY THE CONTRACTOR. WORK SHALL INCLUDE ALL LABOR, EQUIPMENT, APPLIANCES, MATERIALS, TRANSPORTATION, FACILITIES AND SERVICES NECESSARY FOR AND/OR REASONABLY INCIDENTAL TO THE COMPLETION OF ALL ELECTRICAL WORK IN STRICT COMPLIANCE WITH THE DRAWINGS AND OTHER CONTRACT DOCUMENTS. WORK SHALL INCLUDE, BUT NOT BE NECESSARILY LIMITED TO, THE WORK SPECIFIED AND INDICATED ON DRAWINGS.
- C. OBTAIN ALL PERMITS, COORDINATE, FURNISH, INSTALL, CONNECT AND TEST ALL ELECTRICAL EQUIPMENT REQUIRED FOR ALL THE SYSTEMS INSTALLED UNDER THIS CONTRACT TO INSURE COMPLETE AND FULLY OPERATIONAL SYSTEMS.
- D. CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF AS-BUILT DRAWINGS. AS-BUILT SET OF DRAWINGS SHALL BE UPDATED DAILY AND SHALL DOCUMENT THE ACTUAL INSTALLED CONDITION OF THE ENTIRE ELECTRICAL INSTALLATION. AS-BUILT SET OF DRAWINGS SHALL BE AVAILABLE AT ALL TIMES ON THE SITE FOR INSPECTION BY CODE OFFICIALS, OWNER, ARCHITECT, AND ENGINEER.
- E. PROPOSED MODIFICATIONS OF ENGINEERED ELECTRICAL DRAWINGS SHALL BE APPROVED BY ENGINEER OF RECORD PRIOR TO PROCEEDING WITH WORK. PROPOSED CHANGES SHALL COMPLY WITH ALL APPLICABLE CODES/JURISDICTION REQUIREMENTS. COST OF ANY ENGINEERING/REVIEW REQUIRED BY PROPOSED CHANGES SHALL BE BORNE BY ENTITY PROPOSING CHANGE.
- F. DESIGN IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS TO DETERMINE STATUS OF ACTUAL CONDITIONS AS THEY RELATE TO THE SCOPE OF WORK AS SHOWN ON THESE PLANS.
- G. COORDINATE ALL ELECTRICAL WORK WITH ALL OTHER TRADES.
- H. COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL ELECTRICAL EQUIPMENT AND DEVICES WITH THE ARCHITECTURAL ELEVATIONS AND DETAILS PRIOR TO ROUGH-IN.
- I. CONTRACTOR SHALL COORDINATE WITH WALL TYPES AND FURNISH AND INSTALL EXTENSION RINGS AS REQUIRED. (I.E. WALLS WITH TWO LAYERS OF GYP BOARD).
- J. ALL MATERIALS AND EQUIPMENT FURNISHED TO THE PROJECT SHALL BE NEW AND SHALL BEAR THE LISTING LABEL OF A NATIONALLY RECOGNIZED TESTING LABORATORY (NRTL), WHERE APPLICABLE.
- K. ALL ELECTRICAL BOXES, FITTINGS AND CABINETS SHALL BE OF STEEL CONSTRUCTION, GALVANIZED OR POWDER COATED, NEMA 1 TYPE, UON.
- L. ALL DEVICES (SWITCHES/RECEPTACLES/TELECOMMUNICATIONS) SHALL BE WHITE AND COVERPLATES SHALL BE WHITE, UON.
- M. ALL CIRCUIT BREAKERS SUPPLYING MOTOR LOADS SHALL BE HACR RATED.
- N. ALL ELECTRICAL DEVICES AND TERMINALS SHALL BE RATED 75°C MINIMUM.
- O. ALL CONDUCTORS SHALL BE STRANDED COPPER, 600 VOLT RATED. INSULATION TYPE SHALL BE THINWALL, FULLY COLOR CODED WITH GAUGE, TYPE AND MANUFACTURER MARKED EVERY 24" ALONG. CONDUCTOR COLOR CODE SHALL BE AS FOLLOWS:

208Y/120 VOLT SYSTEM	480Y/277 VOLT SYSTEM
PHASE A - BLACK	PHASE A - BROWN
PHASE B - RED	PHASE B - ORANGE
PHASE C - BLUE	PHASE C - YELLOW
NEUTRAL - WHITE	NEUTRAL - GRAY
GROUND - GREEN	GROUND - GREEN
- P. MINIMUM SIZE WIRE FOR POWER AND LIGHTING CIRCUITS SHALL BE #12 AWG, UON. CONDUCTOR SIZE SHALL BE CONTINUOUS THROUGHOUT THE ENTIRE LENGTH OF THE CIRCUIT.
- Q. ALL CIRCUITS SHALL HAVE AN INDEPENDENT NEUTRAL CONDUCTOR. NO EDISON STYLE SHARED NEUTRAL CONDUCTORS ARE ALLOWED.
- R. ALL CONDUITS SHALL CONTAIN A GROUND CONDUCTOR SIZED PER NEC.
- S. ALL POWER AND LIGHTING CONDUCTORS SHALL BE ROUTED IN 3/4" CONDUIT MINIMUM. NO MC TYPE CABLE IS ALLOWED WITH THE EXCEPTION OF CEILING WHIPS 6" OR LESS.
- T. CONDUIT AND WIRE FOR FEEDER OR BRANCH CIRCUITS SHALL NOT BE RUN ON OR ABOVE THE ROOF. ELECTRICAL SERVICES FOR ROOF MOUNTED EQUIPMENT ARE TO BE RUN IN A STRAIGHT LINE FROM THE ROOF PENETRATION TO THE ELECTRICAL CONNECTION FOR THE UNIT SERVED.
- U. ROUTE ALL CONDUIT HOME RUNS TO PANELS OVERHEAD AND ABOVE ACCESSIBLE CEILINGS WHERE AVAILABLE.
- V. INSTALL CONDUIT A MINIMUM OF 4" BELOW BOTTOM OF CONCRETE SLAB WHERE RUNNING UNDER FLOOR. ALL ELBOWS SHALL BE RIGID METAL CONDUIT OR INTERMEDIATE METAL CONDUIT.
- W. ALL EQUIPMENT, SWITCHING DEVICES AND PANELS SHALL BE MOUNTED SO AS TO BE ACCESSIBLE AND SHALL BE MOUNTED PLUMB AND SQUARE WITH WALLS.
- X. BOXES MOUNTED IN A COMMON WALL SHALL BE OFFSET A MINIMUM OF 12" OR MOUNTED IN ADJACENT STUD SPACES. BOXES MOUNTED BACK-TO-BACK ARE NOT ALLOWED.
- Y. ALL ELECTRICAL EQUIPMENT, RACEWAY, FIXTURE AND DEVICE SUPPORTS SHALL BE CAPABLE OF SUSTAINING NOT LESS THAN FOUR (4) TIMES THE ULTIMATE WEIGHT OF THE OBJECT OR OBJECTS. FASTEN SUPPORTS TO THE BUILDING STRUCTURE. CONDUIT IS NOT PERMITTED TO BE SUPPORTED FROM THE CEILING FIXTURE WIRES.
- Z. FURNISH AND INSTALL SAFETY WIRES AT ALL LIGHT FIXTURES INSTALLED IN A SUSPENDED CEILING.
- AA. MOUNTING METHODS INDICATED AND REFERRED TO ARE MINIMUM CODE REQUIREMENTS. COMPLY WITH LOCAL CODES FOR ADDITIONAL SEISMIC RESTRAINTS.
- BB. DEVICES AND RACEWAYS PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH FIRE RESISTIVE MATERIAL, COMPATIBLE WITH CONSTRUCTION PENETRATED. TO MAINTAIN RATING OF THE WALL. SEALANT SYSTEM SHALL BE A NRTL APPROVED SYSTEM AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- CC. FURNISH AND INSTALL A PULL CORD IN ALL EMPTY CONDUITS.
- DD. MAKE ALL CONNECTIONS TO EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
- EE. ALL CONDUCTORS IN ELECTRICAL PANELS, CABINETS AND EQUIPMENT SHALL BE NEATLY TRAINED AND LACED.
- FF. CLEARLY LABEL ALL ACCESSIBLE CONDUIT STUBS WITH SYSTEM NAME AND LOCATION (ROOM NUMBER) WHERE THE OTHER END OF THE CONDUIT TERMINATES. USE INDELEIBLE INK. THE LABELS SHALL BE LOCATED ON THE CONDUIT IN A POSITION THAT CAN BE EASILY READ BY THE OWNER IN THE FUTURE.
- GG. ALL JUNCTION BOX COVERS WITH POWER WIRING SHALL HAVE THE PANEL AND CIRCUIT LABELED ON THE OUTSIDE SURFACE. ALL LABELS FOR EXPOSED JUNCTION BOXES IN "FINISHED AREAS" SHALL BE LABELED UTILIZING CLEAR SELF ADHESIVE LABELS PRODUCED BY A MECHANICAL LABELING MACHINE. LABELS FOR JUNCTION BOX COVERS IN CONCEALED LOCATIONS SHALL CONSIST OF THE INFORMATION BEING NEATLY HANDWRITTEN ON THE OUTSIDE SURFACE OF THE COVER WITH A PERMANENT STYLE MARKER. JUNCTION BOX COVERS FOR FIRE ALARM AND EMERGENCY SYSTEMS SHALL BE PAINTED RED AND LABELED "FA" FOR FIRE ALARM AND "E" FOR EMERGENCY.
- HH. THE CONTRACTOR SHALL PROVIDE TYPED CIRCUIT PANEL DIRECTORIES FOR ALL PANELS THAT CONTAIN CIRCUITS IMPACTED BY THIS PROJECT. OLD DIRECTORIES SHALL BE RETAINED BEHIND THE NEW.
- II. THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE GENERAL CONTRACTOR FOR APPROVAL BY ARCHITECT AND ENGINEER PRIOR TO ORDERING EQUIPMENT. SUBMITTALS SHALL CONSIST OF CATALOG CUT DESIGNATING PART NUMBERS TO BE SUPPLIED FOR EACH TYPE OF THE FOLLOWING: ELECTRICAL GEAR, LIGHT FIXTURES, BALLASTS, DRIVERS, LAMPS, DEVICES AND COVERPLATES.

REVISION HISTORY

REV.	DATE	DESCRIPTION	RELEASED FOR PERMIT
0	5/7/25		

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NAME AND DATE FOR CURRENT RELEASE ONLY	
DESIGN:	DATE:
MT0	5/7/25
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XL ENGINEERING
 IDAHO FALLS, IDAHO

AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 ELECTRICAL SYMBOLS & ABBREV.

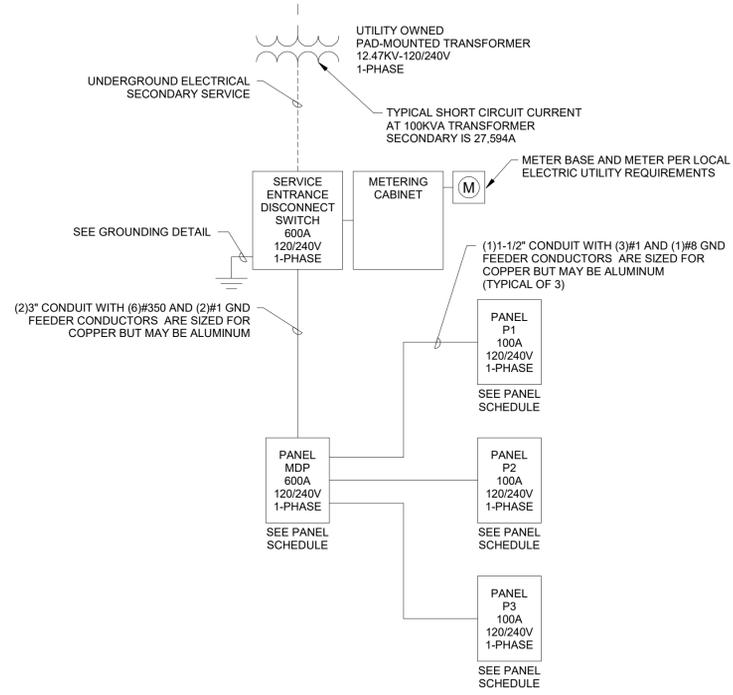
PROJECT NUMBER: 25014
 DWG: E00

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NOTE: ALL CONDUCTORS ARE SIZED PER NEC TABLE 310.15(b)(16), COPPER, 75 DEG C TEMPERATURE RATING, THHW INSULATION 90 DEG C RATED CONDUCTORS MAY BE USED AS ALLOWED BY CODE

1 RISER DIAGRAM NTS

Branch Panel: MDP

Location: SHOP FLOOR 6
Supply From: SURFACE
Mounting: SURFACE
Enclosure: Type 1

Volts: 120/240
Phases: 1
Wires: 3

A.I.C. Rating:
Mains Type: MLO
Mains Rating: 600 A
MCB Rating: MLO

Notes:

CKT	Circuit Description	BRKR Type	BRKR AMPS	Poles	A		B		Poles	BRKR AMPS	BRKR Type	Circuit Description	CKT
1	P1		100 A	2	122.4	113.5			2	100 A		P2	2
3							119.8	112.1					4
5	P3		100 A	2	122.6	23.8			2	30 A		WELDING RECEPTACLE	6
7							119.8	23.8					8
9	COMPRESSOR RECEPTACLE		30 A	2	23.8	23.8			2	30 A		LIFT #1	10
11							23.8	23.8					12
13	CEILING FAN (CF-1)		15 A	2	8.0	4.0			2	15 A		EXHAUST FAN (EF-4)	14
15							8.0	4.0					16
17	WATER HEATER (WH-1)		20 A	1	13.8	16.7				25 A		ELECTRIC HEATER (EH-1)	18
19	ELECTRIC HEATER (EH-2)		20 A	1			8.3	16.7					20
21	ELECTRIC HEATER (EH-3)		20 A	1	8.3	4.6			1	20 A		UNIT HEATER	22
23							23.8	23.8					24
25	LIFT #2		30 A	2	23.8	23.8			2	30 A		LIFT #3	26
27	OVERHEAD DOOR #1		20 A	1			11.2	11.2	1	20 A		OVERHEAD DOOR #2	28
29	OVERHEAD DOOR #3		20 A	1	11.2	1.5			1	20 A		REC BLOCK HEATER #1	30
31	REC BLOCK HEATER #2		20 A	1			1.5	12.3	1	20 A		REC OFFICE	32
33	REC RESTROOMS		20 A	1	3.2	7.5			1	20 A		REC S SHOP	34
35	REC STORAGE		20 A	1			7.6	7.5	1	20 A		REC W SHOP	36
37	REC N SHOP		20 A	1	9.0	11.3			1	20 A		REC E SHOP	38
39	REC BAY #1		20 A	1			1.5	1.5	1	20 A		REC BAY #2	40
41	REC BAY #3		20 A	1	1.5	2.6			1	20 A		LIGHTING, OFFICE/STORAGE	42
43	SPARE	--	20 A	1			0.0	14.6	1	20 A		LIGHTING, SHOP	44
45	LIGHTING, EXTERIOR		20 A	1	2.3	0.0			1	20 A	--	SPARE	46
47	SPARE	--	20 A	1			0.0	0.0	1	20 A	--	SPARE	48
49	SPARE	--	20 A	1	0.0	0.0			1	20 A	--	SPARE	50
51	SPARE	--	20 A	1			0.0	0.0	1	20 A	--	SPARE	52
53	SPARE	--	20 A	1	0.0	0.0			1	20 A	--	SPARE	54
Total Amps:					583 A	576 A							

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Motor	4032 VA		4368 VA	
Receptacle	54450 VA	59.18%	32225 VA	Total Conn. Load: 139073 VA
Lighting	3301 VA	125.00%	4126 VA	Total Est. Demand: 118009 VA
Power	77290 VA	100.00%	77290 VA	Total Conn.: 579 A
				Total Est. Demand: 492 A

WY AUTO SHOP DWELLING UNIT (REPRESENTATIVE OF 3)
PARCEL NO: 37182030004500, ELK MEADOWS ADDITION LOT: 3
ALPINE, WY 83128

FEEDER AND SERVICE LOAD CALCULATIONS FOR DWELLING UNIT PER NEC ARTICLE 220.82

120/240 VOLT, 1-PHASE, 3-WIRE, > 100 AMPERES

AREA (SQUARE FOOTAGE)	VA
AREA X 3 VA/SQ FT FOR GENERAL LIGHTING AND RECEPTACLES	1056 FT ² x 3 = 3168 VA
(2) SMALL APPLIANCE CIRCUITS AT (1,500 VA EACH)	3000 VA

ITEM	VA	QTY	VA
ELECTRIC RANGE / OVEN AT:	8000	1	8000 VA
RANGE HOOD AT:	250	1	250 VA
MICROWAVE AT:	1250	1	1250 VA
ELECTRIC DRYER AT:	3400	1	3400 VA
CLOTHES WASHER AT:	180	1	180 VA
DISHWASHER AT:	1500	0	0 VA
REFRIGERATOR/FREEZER AT:	800	2	1600 VA
DISPOSER AT:	450	1	450 VA
WATER HEATER AT:	4500	2	9000 VA
			30298 VA
100% OF FIRST 10,000 VA			10000 VA
PLUS 40% OF BALANCE			8119 VA
			18119 VA

OTHER PERMANENTLY CONNECTED MOTORS	VA
ERV	39
EF	11
	50 VA

HEATING AND AIR CONDITIONING LOAD	VA
100% OF AIR CONDITIONING & COOLING	0 VA
N/A	0 VA

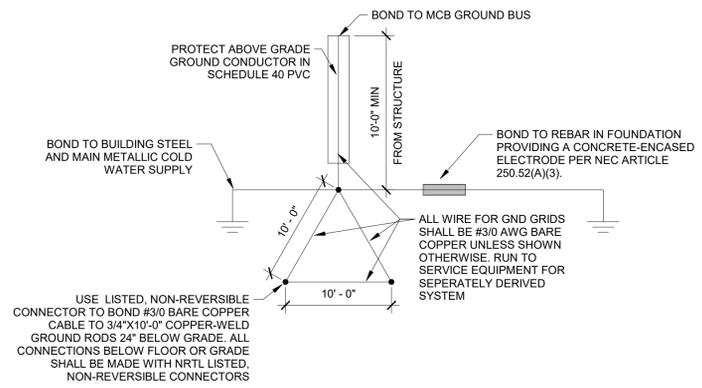
100% OF HEAT PUMPS	VA
HP & FCS	2232
	2232 VA

65% OF ELECTRIC SPACE HEATING IF < 4 UNITS	VA
EH	1000
	650 VA

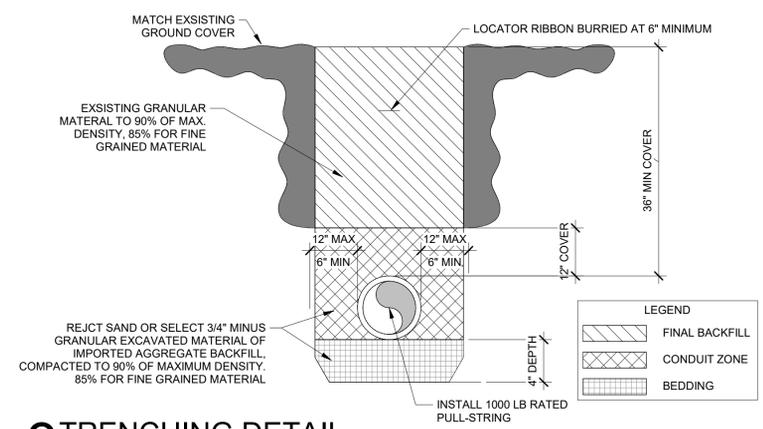
40% OF ELECTRIC SPACE HEATING IF ≥ 4 UNITS	VA
N/A	0
	0 VA

21051 VA	VA
	21051 VA

CALCULATED FEEDER AND SERVICE LOAD = VA/240V	AMP
	88 A
MINIMUM SERVICE SIZE	AMP
	100 A



2 GROUNDING DETAIL NTS



3 TRENCHING DETAIL NTS

REVISION HISTORY

REV	DATE	DESCRIPTION	RELEASED FOR PERMIT
0	5/7/25		

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NAME AND DATE FOR CURRENT RELEASE ONLY

DESIGN: MTO DATE: 5/7/25

APPROVED: MTO

XL ENGINEERING
IDAHO FALLS, IDAHO

AUTO SERVICE ELEVATED
PARCEL NO: 37182030004500
ELK MEADOWS ADDITION LOT: 3
RISER, SCHED., LOAD CALCS & DETAILS

PROJECT NUMBER: 25014
DWG: E01

Lighting Fixture Schedule

Type	Count	Lamp	Description	Mounting	Manufacturer	Model	Voltage	Wattage	Comments
CF	1	LED	CEILING FAN LIGHT	PENDANT	BIG ASS FANS	POWERFOIL LED 009769 5000K	120 V	150 VA	SUPPLIED WITH FAN, NO SUBSTITUTIONS ALLOWED
D	66	LED	6" SLIM DOWNLIGHT	RECESSED	PREMIUM QUALITY	93091	120 V	15 VA	OR APPROVED EQUIVALENT
E	3	LED	EXIT/EGRESS COMBO	SURFACE - WALL	MULE	AL U X WW	120 V	3 VA	WITH 90 MINUTE BATTERY BACKUP OR APPROVED EQUIVALENT
HB	10	LED	HIGH BAY	SUSPENDED	DAY BRITE	FBY 18L 840 UNV LCA		133 VA	OR APPROVED EQUIVALENT
HBE	2	LED	HIGH BAY - EMERGENCY	SUSPENDED	DAY BRITE	FBY 18L 840 UNV LCA BSL10LST		133 VA	WITH 90 MINUTE BATTERY BACKUP OR APPROVED EQUIVALENT
S4	7	LED	4' STRIP	SURFACE - CEILING	DAY BRITE	FLP440L840 R UNV DIM	120 V	27 VA	OR APPROVED EQUIVALENT
S4E	1	LED	4' STRIP	SURFACE - CEILING	DAY BRITE	FLP440L840 R UNV DIM BSL10LST	120 V	27 VA	OR APPROVED EQUIVALENT
V2	5	LED	2' VANITY	SURFACE - WALL	LEDALITE	24C8LAGAH02NDEWNN	120 V	16 VA	OR APPROVED EQUIVALENT
W1	10	LED	EXTERIOR WALL CYLINDER - EMERGENCY	SURFACE - WALL	GARDCO	GCM A01 840 T4M UNV EC	120 V	10 VA	WITH 90 MINUTE BATTERY BACKUP OR APPROVED EQUIVALENT
W2	3	LED	EXTERIOR WALL PACK	SURFACE - WALL	DSSL	WSPEC60 50K BN T3M	120 V	60 VA	OR APPROVED EQUIVALENT

CONSTRUCTION NOTES:

- PER IECC R404.1 - ALL PERMANENTLY INSTALLED LIGHTING FIXTURES, EXCLUDING KITCHEN APPLIANCE LIGHTING FIXTURES, SHALL CONTAIN ONLY HIGH-EFFICIENCY LIGHTING SOURCES.
- PER IECC R404.2 - PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER DIMMER, AND OCCUPANT SENSOR CONTROL OR OTHER CONTROL THAT IS INSTALLED OR BUILT INTO THE FIXTURE. EXCEPTION: LIGHTING CONTROLS SHALL NOT BE REQUIRED FOR BATHROOMS, HALLWAYS, EXTERIOR LIGHTING FIXTURES, OR LIGHTING DESIGNED FOR SAFETY OR SECURITY.

REVISION HISTORY

REV	DATE	DESCRIPTION
0	5/7/25	RELEASED FOR PERMIT

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NAME AND DATE FOR CURRENT RELEASE ONLY

DESIGN: MTO DATE: 5/7/25

APPROVED: MTO DATE: 5/7/25

XL ENGINEERING
 IDAHO FALLS, IDAHO

AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 LIGHTING AND PANEL SCHEDULES

PROJECT NUMBER: 25014
 DWG: E02

Branch Panel: P1

Location: APARTMENT 1 9
 Supply From: MDP
 Mounting: Recessed
 Enclosure: Type 1

Volts: 120/240
 Phases: 1
 Wires: 3

A.I.C. Rating:
 Mains Type:
 Mains Rating: 100 A
 MCB Rating:

Notes:

CKT	Circuit Description	BRKR Type	BRKR AMPS	Poles	A	B	Poles	BRKR AMPS	BRKR Type	Circuit Description	CKT	
1	SMOKE/CO DETECTORS	AFCI	20 A	1	0.1	1.5	1	20 A	GFCI/AFCI	REC WASHER	2	
3	REC LIVING	AFCI	20 A	1		9.3	3.1	1	20 A	REC BATHROOM	4	
5	REC DISPOSER	GFCI/AFCI	20 A	1	3.8	7.5	1	20 A	AFCI	REC BEDROOM #1	6	
7	REC LAUNDRY	GFCI/AFCI	20 A	1		6.0	6.7	1	20 A	REC REFRIGERATOR	8	
9	ELECTRIC HEATER (EH-11)		20 A	1	8.3	2.9	1	20 A	AFCI	LIGHTING	10	
11	REC KITCHEN COUNTER	AFCI	20 A	1		3.0	12.5	1	20 A	REC DISHWASHER	12	
13	REC BEDROOM #2	AFCI	20 A	1	10.5	9.9	2	20 A		HEAT PUMP (HP-11)	14	
15	DRYER	GFCI	30 A	2	14.2	18.8	2	30 A		WATER HEATER (WH-2)	16	
17											18	
19	RANGE	GFCI	50 A	2	33.3	11.7	1	20 A	GFCI/AFCI	MICROWAVE/HOOD	22	
21											24	
23	SPARE	--	20 A	1		0.0	3.0	1	20 A	AFCI	REC KITCHEN COUNTER	24
Total Amps:					122 A		120 A					
Load Classification		Connected Load	Demand Factor	Estimated Demand	Panel Totals							
Receptacle		15870 VA	81.51%	12935 VA								
Lighting		346 VA	125.00%	433 VA	Total Conn. Load: 29063 VA							
Power		12847 VA	100.00%	12847 VA	Total Est. Demand: 26215 VA							
					Total Conn.: 121 A							
					Total Est. Demand: 109 A							

Branch Panel: P2

Location: APARTMENT 2 10
 Supply From: MDP
 Mounting: Recessed
 Enclosure: Type 1

Volts: 120/240
 Phases: 1
 Wires: 3

A.I.C. Rating:
 Mains Type:
 Mains Rating: 100 A
 MCB Rating:

Notes:

CKT	Circuit Description	BRKR Type	BRKR AMPS	Poles	A	B	Poles	BRKR AMPS	BRKR Type	Circuit Description	CKT	
1	SMOKE/CO DETECTORS	AFCI	20 A	1	0.1	11.7	1	20 A	GFCI/AFCI	MICROWAVE/HOOD	2	
3	REC DISPOSER	GFCI/AFCI	20 A	1		3.8	6.0	1	20 A	AFCI	REC HALL	4
5	REC DISHWASHER	GFCI/AFCI	20 A	1	12.5	1.5	1	20 A	AFCI	REC KITCHEN COUNTER	6	
7	REC REFRIGERATOR	GFCI/AFCI	20 A	1		6.7	9.0	1	20 A	AFCI	REC BEDROOM	8
9	HEAT PUMP (HP-21)		20 A	2	9.9	14.2	2	30 A	GFCI	REC DRYER	10	
11											12	
13	WATER HEATER (WH-3)		30 A	2	18.8	33.3	2	50 A	GFCI	RANGE	14	
15											16	
17	REC BATHROOM		20 A	1	3.1	2.1	1	20 A	AFCI	LIGHTING	18	
19	REC WASHER	GFCI/AFCI	20 A	1		1.5	3.0	1	20 A	AFCI	REC KITCHEN COUNTER	20
21	REC KITCHEN/LIVING	AFCI	20 A	1	6.3	0.0	1	20 A	--	SPARE	22	
23	SPARE	--	20 A	1		0.0	0.0	1	20 A	--	SPARE	24
Total Amps:					113 A		112 A					
Load Classification		Connected Load	Demand Factor	Estimated Demand	Panel Totals							
Receptacle		14970 VA	83.40%	12485 VA								
Lighting		256 VA	125.00%	320 VA	Total Conn. Load: 27068 VA							
Power		11842 VA	100.00%	11842 VA	Total Est. Demand: 24647 VA							
					Total Conn.: 113 A							
					Total Est. Demand: 103 A							

Branch Panel: P3

Location: APARTMENT 3 11
 Supply From: MDP
 Mounting: Recessed
 Enclosure: Type 1

Volts: 120/240
 Phases: 1
 Wires: 3

A.I.C. Rating:
 Mains Type:
 Mains Rating: 100 A
 MCB Rating:

Notes:

CKT	Circuit Description	BRKR Type	BRKR AMPS	Poles	A	B	Poles	BRKR AMPS	BRKR Type	Circuit Description	CKT	
1	SMOKE/CO DETECTORS	AFCI	20 A	1	0.1	1.5	1	20 A	GFCI/AFCI	REC WASHER	2	
3	REC LIVING	AFCI	20 A	1		9.3	3.1	1	20 A	REC BATHROOM	4	
5	REC DISPOSER	GFCI/AFCI	20 A	1	3.8	7.5	1	20 A	AFCI	REC BEDROOM #1	6	
7	REC LAUNDRY	GFCI/AFCI	20 A	1		6.0	6.7	1	20 A	REC REFRIGERATOR	8	
9	ELECTRIC HEATER (EH-31)		20 A	1	8.3	3.0	1	20 A	AFCI	LIGHTING	10	
11	REC KITCHEN COUNTER	AFCI	20 A	1		3.0	12.5	1	20 A	REC DISHWASHER	12	
13	REC BEDROOM #2	AFCI	20 A	1	10.5	9.9	2	20 A		HEAT PUMP (HP-31)	14	
15	REC DRYER	GFCI	20 A	2	14.2	18.8	2	30 A		WATER HEATER (WH-4)	16	
17											18	
19	RANGE	GFCI	50 A	2	33.3	11.7	1	20 A	GFCI/AFCI	MICROWAVE/HOOD	22	
21											24	
23	SPARE	--	20 A	1		0.0	3.0	1	20 A	AFCI	REC KITCHEN COUNTER	24
Total Amps:					123 A		120 A					
Load Classification		Connected Load	Demand Factor	Estimated Demand	Panel Totals							
Receptacle		15870 VA	81.51%	12935 VA								
Lighting		361 VA	125.00%	451 VA	Total Conn. Load: 29078 VA							
Power		12847 VA	100.00%	12847 VA	Total Est. Demand: 26233 VA							
					Total Conn.: 121 A							
					Total Est. Demand: 109 A							

COMcheck Software Version COMcheckWeb Interior Lighting Compliance Certificate

Project Information

Energy Code: 2021 IECC
Project Title: WY Auto Shop
Project Type: New Construction

Construction Site: Parcel No.: 37182030004500, Elk Meadows Addition Lot: 3 Alpine, Wyoming 83128
Owner/Agent:
Designer/Contractor:

Additional Efficiency Package(s)
Credits: 10.0 Required 0.0 Proposed

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts
1-Shop (Automotive Facility)	3000	0.75	2250
		Total Allowed Watts =	2250

Proposed Interior Lighting Power

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Watt.	E (C X D)
1-Shop (Automotive Facility)				
LED: E: EXIT/EGRESS: LED Linear 8W:	1	3	2	6
LED: HB/HBE: HIGH BAY: LED Panel 80W:	2	12	134	1608
LED: S4/S4E: 4' STRIP: LED Linear 20W:	2	8	30	240
LED: V2: 2' VANITY: LED Linear 15W:	1	2	16	32
LED: D: 6' DOWNLIGHT: LED Panel 19W:	1	4	15	60
		Total Proposed Watts =		1946

Interior Lighting PASSES: Design 14% better than code

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2021 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

COMcheck Software Version COMcheckWeb Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2021 IECC
Project Title: WY Auto Shop
Project Type: New Construction
Exterior Lighting Zone: 2 (Light industrial area with limited nighttime use (LZZ))

Construction Site: Parcel No.: 37182030004500, Elk Meadows Addition Lot: 3 Alpine, Wyoming 83128
Owner/Agent:
Designer/Contractor:

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts / Wattage	D Tradable Wattage	E Allowed Watts (B X C)
OH & Man Doors (Pedestrian and vehicular entrances and exits)	48 ft of	14	Yes	672
		Total Tradable Watts (a) =		672
		Total Allowed Watts =		672
		Total Allowed Supplemental Watts (b) =		400

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
(b) A supplemental allowance equal to 400 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Watt.	E (C X D)
OH & Man Doors (Pedestrian and vehicular entrances and exits, 48 ft of door width): Tradable Wattage				
LED: W1: WALL PACK - MAN DOOR: LED Linear 11W:	1	7	10	70
LED: W2: WALL PACK - OVERHEAD DOOR: LED Panel 80W:	1	3	60	180
		Total Tradable Proposed Watts =		250

Exterior Lighting PASSES: Design 77% better than code

Exterior Lighting Compliance Statement

Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2021 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

COMcheck Software Version COMcheckWeb Inspection Checklist

Energy Code: 2021 IECC
Requirements: 0.0% were addressed directly in the COMcheck software
Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
C103.2 (PR4) ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C103.2 (PR8) ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the exterior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include exterior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406 (PR9) ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.3 (EL22) ¹	Spaces required to have light-reduction controls have a manual control that allows the occupant to reduce the connected lighting load in a reasonably uniform illumination pattern >= 50 percent.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1 (EL18) ¹	Occupancy sensors installed in classrooms/lecture/training rooms, conference/meeting/multipurpose rooms, copy/print rooms, lounges/breakrooms, enclosed offices, open plan office areas, restrooms, storage rooms, locker rooms, corridors, warehouse storage areas, and other spaces <= 300 sqft that are enclosed by floor-to-ceiling height partitions. Reference section language C405.2.1.2 for control function in warehouses and section C405.2.1.3 for open plan office spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1 (EL19) ²	Occupancy sensors control function in warehouses. In warehouses, the lighting in aiseways and open areas is controlled with occupant sensors that automatically reduce lighting power by 50% or more within 20 minutes of when the areas are unoccupied. The occupant sensors control lighting in each aisleway independently and do not control lighting beyond the aisleway being controlled by the sensor. Lights not turned off by occupant sensors is done so by time-switch.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1 (EL20) ³	Occupant sensor control function in open plan office areas: Occupant sensor controls in open office spaces >= 300 sq.ft. have controls 1) configured so that general lighting can be controlled separately in control zones with floor areas <= 600 sq.ft. within the space, 2) general lighting in each zone permitted to turn on upon occupancy in control zone, 3) automatically turn off general lighting in all control zones within 20 minutes after all occupants have left the space, 4) are configured so that general lighting power in each control zone is reduced by >= 80% of the full zone general lighting power within 20 minutes of all occupants leaving that control zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2 (EL21) ¹	Each area not served by occupancy sensors (per C405.2.1.1) have time-switch controls and functions detailed in sections C405.2.2.1.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.4 (EL23) ²	Daylight zones provided with individual controls that control the lights independent of general area lighting. See code section C405.2.3 Daylight-responsive controls for applicable spaces. C405.2.3.1 Daylight-responsive control function and section C405.2.3.2 Sidelit zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.5 (EL27) ¹	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.7 (EL28) ¹	Automatic lighting controls for exterior lighting installed. Controls will be daylight controlled, set based on business operation time-of-day, or reduce connected lighting > 30%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.7 (EL26) ¹	Low-voltage dry-type distribution electric transformers meet the minimum efficiency requirements of Table C405.6.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.8 (EL27) ¹	Electric motors meet the minimum efficiency requirements of Tables C405.7(1) through C405.7(4). Efficiency verified through certification under an approved certification program or the equipment efficiency ratings shall be provided by motor manufacturer (where certification programs do not exist).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.9.1 (EL28) ²	Escalators and moving walks comply with ASME A17.1/CSA B44 and have automatic controls configured to reduce speed to the minimum permitted speed in accordance with ASME A17.1/CSA B44 or applicable local code when not conveying passengers.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.10 (EL29) ¹	Total voltage drop across the combination of feeders and branch circuits <= 5%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.1.1 (EL30) ²	At least 90% of dwelling unit permanently installed lighting shall have lamp efficacy >= 65 lm/W or luminaires with efficacy >= 45 lm/W or comply with C405.2.4 or C405.3.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.11 (EL31) ¹	50% of 15/20 amp receptacles installed in enclosed offices, conference rooms, copy rooms, break rooms, classrooms and workstations and > 25% of branch circuit feeders for modular furniture will have automatic receptacle control in accordance with C405.11.1.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C303.3 (FI17) ¹	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.5.1 (FI19) ¹	Exterior lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Exterior Lighting fixture schedule for watts.
C408.1.1 (FI57) ¹	Building operations and maintenance documents will be provided to the owner. Documents will cover manufacturers' information, specifications, programming procedures and means of illustrating to owner how building, equipment and systems are intended to be installed, maintained, and operated.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5 (FI16) ¹	Furnished as-built drawings for electric power systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.3 (FI33) ¹	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

REVISION HISTORY

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NAME AND DATE FOR CURRENT RELEASE ONLY

DESIGN: MTO DATE: 5/7/25

APPROVED: MTO DATE: 5/7/25

XL ENGINEERING
IDAHO FALLS, IDAHO

AUTO SERVICE ELEVATED
PARCEL NO.: 37182030004500
ELK MEADOWS ADDITION LOT: 3
ENERGY COMPLIANCE FORMS

PROJECT NUMBER: 25014
DWG: E03

D

C

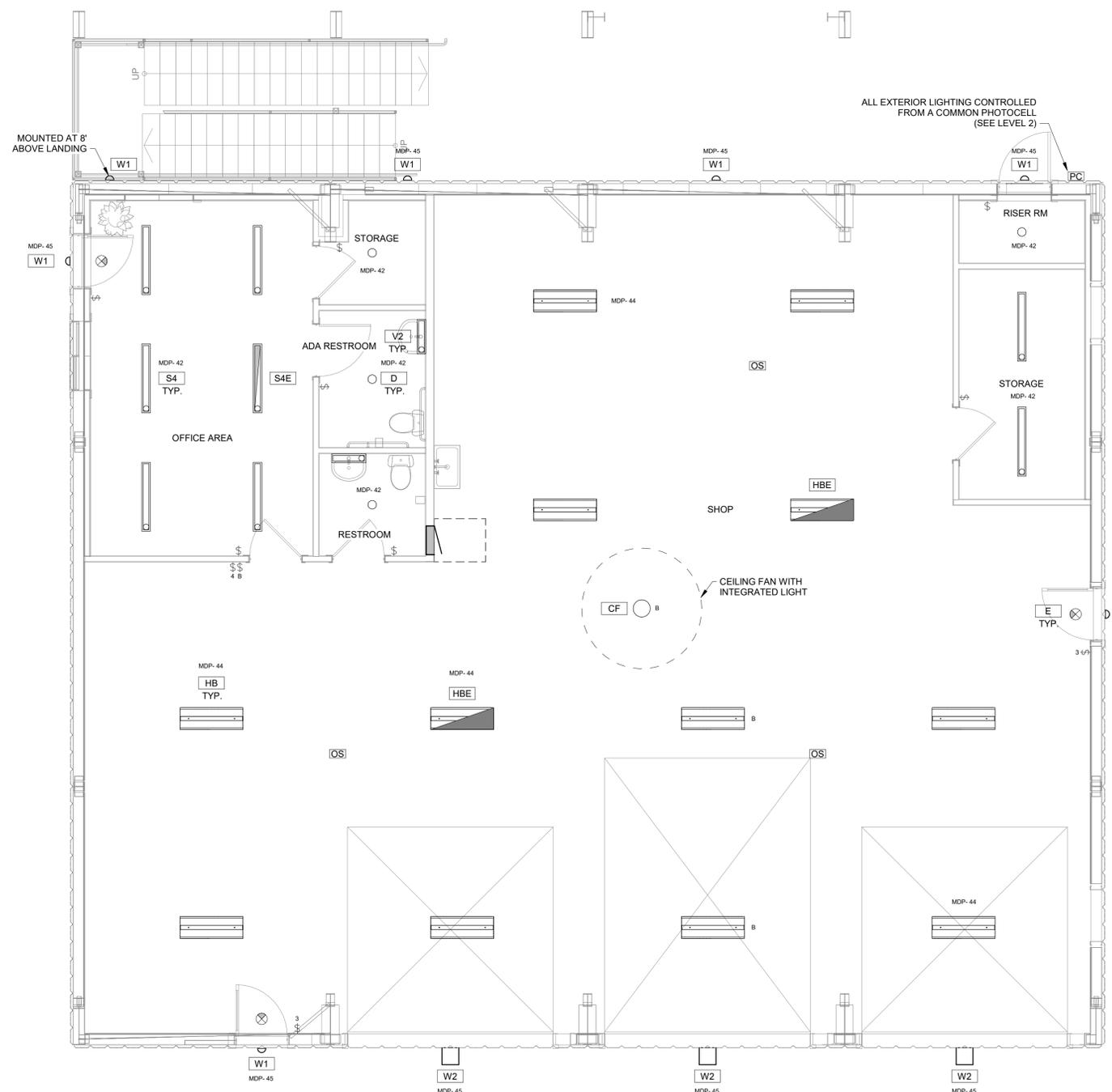
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A

GENERAL NOTES

- A ALL CONDUITS WITH CIRCUIT CONDUCTORS SHALL HAVE A COPPER EQUIPMENT GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH NEC 250.
- B CONTRACTOR TO VERIFY EQUIPMENT ELECTRICAL REQUIREMENTS PRIOR TO INSTALLATION OF RELATED CIRCUIT. CIRCUIT(S) ARE TO BE SIZED AS REQUIRED BY LABEL RATING.
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- D COORDINATE HOMERUN CIRCUIT NUMBERS WITH PANEL SCHEDULES.
- E THIS PLAN DOES NOT REFLECT COMMUNICATION EQUIPMENT. COORDINATE WITH ARCHITECT FOR THE QUANTITY AND LOCATION OF RJ-45 PORTS. THE SERVER SHALL BE LOCATED NEAR THE ELECTRICAL SERVICE ENTRANCE. ALL RJ-45 PORTS SHALL BE CONNECTED TO THE SERVER VIA DEDICATED CAT. 6A ETHERNET CABLE. CONFIRM WITH THE ARCHITECT THAT TELEPHONE AND TV WILL BE INTERNET BASED AND THAT NO COAXIAL OR COPPER TELEPHONE WIRE IS NECESSARY.
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 - L c SHALL INCORPORATE MANUAL CONTROL TO ALLOW OCCUPANTS TO TURN LIGHTS OFF.

KEYED NOTES



ALL EXTERIOR LIGHTING CONTROLLED FROM A COMMON PHOTOCELL (SEE LEVEL 2)

MOUNTED AT 8" ABOVE LANDING

CEILING FAN WITH INTEGRATED LIGHT

CONSTRUCTION NOTES:

1. PER IECC R404.1 - ALL PERMANENTLY INSTALLED LIGHTING FIXTURES, EXCLUDING KITCHEN APPLIANCE LIGHTING FIXTURES, SHALL CONTAIN ONLY HIGH-EFFICIENCY LIGHTING SOURCES.
2. PER IECC R404.2 - PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE CONTROLLED WITH EITHER DIMMER, AND OCCUPANT SENSOR CONTROL OR OTHER CONTROL THAT IS INSTALLED OR BUILT INTO THE FIXTURE. EXCEPTION: LIGHTING CONTROLS SHALL NOT BE REQUIRED FOR BATHROOMS, HALLWAYS, EXTERIOR LIGHTING FIXTURES, OR LIGHTING DESIGNED FOR SAFETY OR SECURITY.
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4. ALL PENETRATIONS THROUGH FIRE BARRIERS SHALL BE PROPERLY SEALED TO MAINTAIN THE FIRE RATING OF THE BARRIER.
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XL ENGINEERING
 IDAHO FALLS, IDAHO

AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 LIGHTING PLAN LEVEL 1

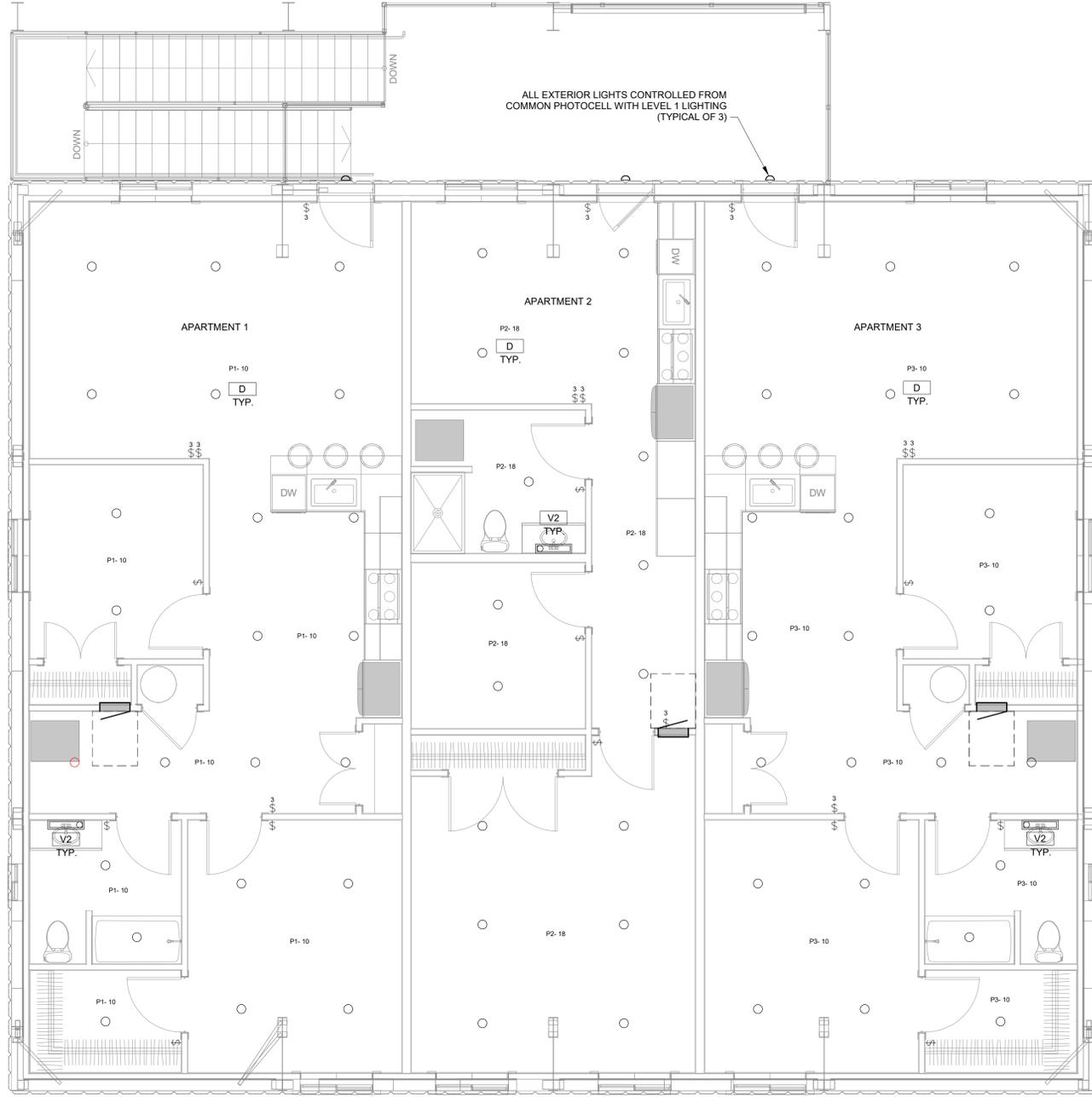
PROJECT NUMBER: 25014
 DWG: E11

1 LIGHTING PLAN - LEVEL 1
 1/4" = 1'-0"

GENERAL NOTES

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KEYED NOTES



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1 LIGHTING PLAN - LEVEL 2
1/4" = 1'-0"

REVISION HISTORY

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XL ENGINEERING
 IDAHO FALLS, IDAHO

AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 LIGHTING PLAN LEVEL 2

PROJECT NUMBER: 25014
 DWG: E12

GENERAL NOTES

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KEYED NOTES

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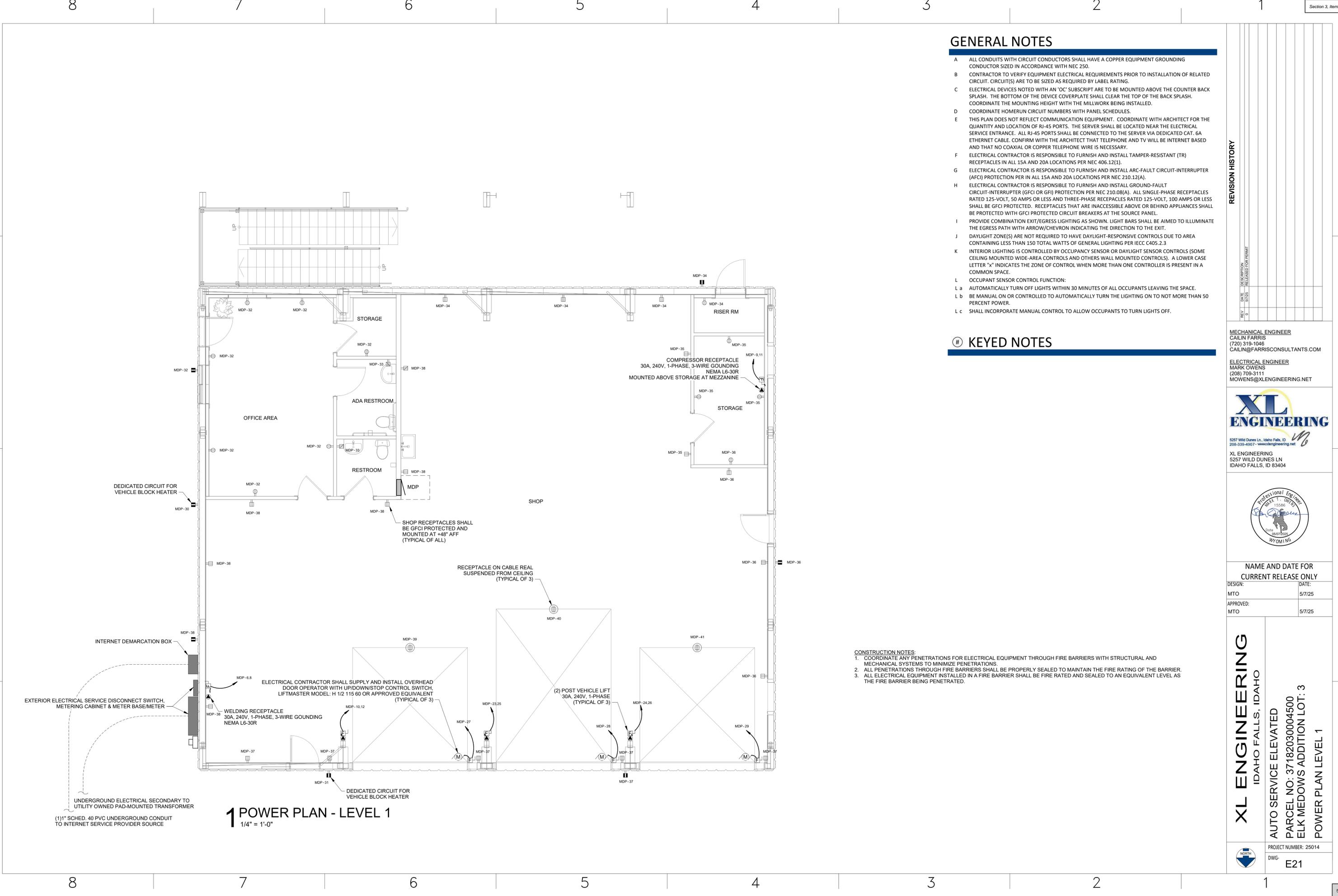
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XL ENGINEERING
 IDAHO FALLS, IDAHO

AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 POWER PLAN LEVEL 1

PROJECT NUMBER: 25014
 DWG: E21



- CONSTRUCTION NOTES:
- COORDINATE ANY PENETRATIONS FOR ELECTRICAL EQUIPMENT THROUGH FIRE BARRIERS WITH STRUCTURAL AND MECHANICAL SYSTEMS TO MINIMIZE PENETRATIONS.
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1 POWER PLAN - LEVEL 1
 1/4" = 1'-0"

(1) 1" SCHED. 40 PVC UNDERGROUND CONDUIT TO INTERNET SERVICE PROVIDER SOURCE

GENERAL NOTES

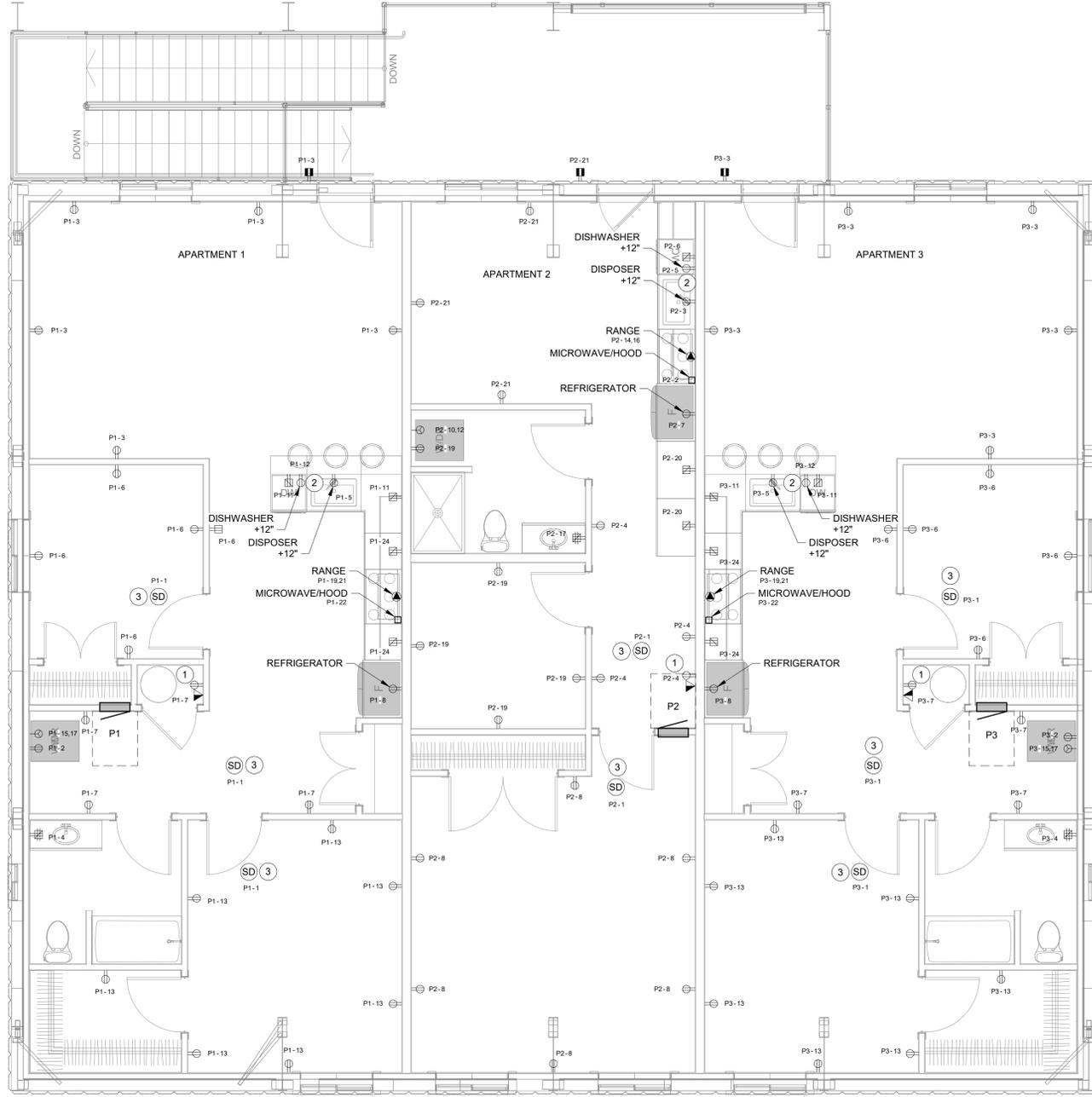
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KEYED NOTES

- 1 POWER RECEPTACLE AND DATA PORT (RJ-45 ETHERNET CONNECTOR) MOUNTED AT 60" FOR WIFI ROUTER.
- 1 a AUTOMATICALLY TURN OFF LIGHTS WITHIN 30 MINUTES OF ALL OCCUPANTS LEAVING THE SPACE. MUST BE PHYSICALLY LOCATED IN ADJACENT COMPARTMENT.
- 2 ELECTRICAL CONTRACTOR SHALL INSTALL UL1217 RATED COMBINATION SMOKE/CO DETECTOR IN ALL SLEEPING/LIVING SPACES. DETECTORS SHALL BE NETWORKED AND POWERED FROM A COMMON SOURCE.

CONSTRUCTION NOTES:

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XL ENGINEERING
 IDAHO FALLS, IDAHO
 AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 POWER PLAN LEVEL 2

PROJECT NUMBER: 25014
DWG: E22

1 POWER PLAN - LEVEL 2
 1/4" = 1'-0"



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 - L a AUTOMATICALLY TURN OFF LIGHTS WITHIN 30 MINUTES OF ALL OCCUPANTS LEAVING THE SPACE.
 - L b BE MANUAL ON OR CONTROLLED TO AUTOMATICALLY TURN THE LIGHTING ON TO NOT MORE THAN 50 PERCENT POWER.
 - L c SHALL INCORPORATE MANUAL CONTROL TO ALLOW OCCUPANTS TO TURN LIGHTS OFF.

KEYED NOTES

- 1 POWER FOR SPLIT SYSTEM FAN COIL UNITS (FCU) SUPPLIED FROM SPLIT SYSTEM HEAT PUMP (HP) OR SPLIT SYSTEM CONDENSING UNIT (CU). SEE MECHANICAL SHEETS/SCHEDULES FOR ASSOCIATION
- 2 CIRCUIT ALL EXHAUST FANS (EF) TO ADJACENT RECEPTACLE CIRCUIT. PROVIDE INDEPENDENT SWITCHING COORDINATED WITH THE LOCATION OF LIGHTING SWITCHES.

- CONSTRUCTION NOTES:
- 1. COORDINATE ANY PENETRATIONS FOR ELECTRICAL EQUIPMENT THROUGH FIRE BARRIERS WITH STRUCTURAL AND MECHANICAL SYSTEMS TO MINIMIZE PENETRATIONS.
 - 2. ALL PENETRATIONS THROUGH FIRE BARRIERS SHALL BE PROPERLY SEALED TO MAINTAIN THE FIRE RATING OF THE BARRIER.
 - 3. ALL ELECTRICAL EQUIPMENT INSTALLED IN A FIRE BARRIER SHALL BE FIRE RATED AND SEALED TO AN EQUIVALENT LEVEL AS THE FIRE BARRIER BEING PENETRATED.

REVISION HISTORY

REV	DATE	DESCRIPTION	RELEASED FOR PERMIT
0	5/7/25		

MECHANICAL ENGINEER
 CAILIN FARRIS
 (720) 319-1046
 CAILIN@FARRISCONSULTANTS.COM

ELECTRICAL ENGINEER
 MARK OWENS
 (208) 709-3111
 MOWENS@XLENGINEERING.NET



NAME AND DATE FOR CURRENT RELEASE ONLY	
DESIGN:	DATE:
MTO	5/7/25
APPROVED:	DATE:
MTO	5/7/25

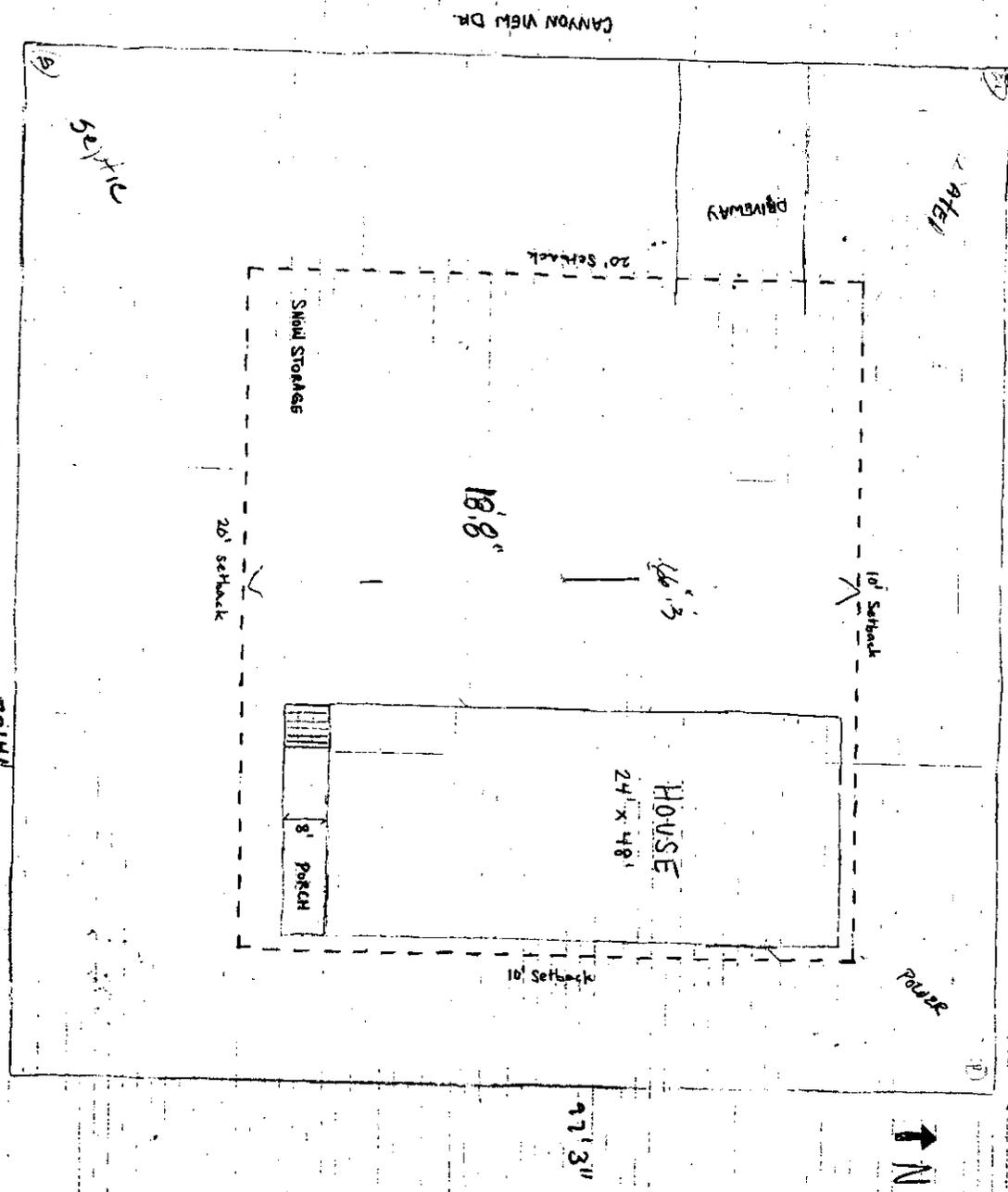
XL ENGINEERING
 IDAHO FALLS, IDAHO

AUTO SERVICE ELEVATED
 PARCEL NO: 37182030004500
 ELK MEADOWS ADDITION LOT: 3
 MECHANICAL POWER PLAN LEVEL 2

PROJECT NUMBER: 25014
 DWG: E32

1 MECHANICAL POWER PLAN - LEVEL 2
 1/4" = 1'-0"

* Property lines are not exact, just an approximation. Not to scale.



Robert & Amy Ungerechts
304-413-2915



PLANNING & ZONING MEETING MINUTES

May 13, 2025 at 7:00 PM

Meeting Type – Regular Meeting

1. **CALL TO ORDER:** Miss Melissa Wilson calls the meeting to order at 7:01 PM

2. **ROLL CALL & ESTABLISH QUORUM:**

PRESENT

Planning & Zoning Commission Member Dan Schou

Planning & Zoning Vice Chairman Rachael Stewart

Planning & Zoning Chairman Melisa Wilson

3. **TONIGHT'S APPOINTMENTS/ NEW BUSINESS:**

a. **FRITZ, JUSTIN AND LARISSA:** Lot # 18, Forest Meadows, 520 Three Rivers Dr. (MC-0425-003) – Shed roof

A 500 square foot lean-to shed roof addition on the back of the home. Setback requirements have been met; set properly within the building envelope. No electricity or plumbing will be installed.

Motion made by Planning & Zoning Commission Member Schou to approve the site plan for MC-0425-003, seconded by Planning & Zoning Vice Chairman Stewart.

Voting Yea: Planning & Zoning Commission Member Schou, Planning & Zoning Vice Chairman Stewart, Planning & Zoning Chairman Wilson

b. **EPLIN, CHERI:** Lot #220, Lakeview Estates A, 672 Sunset Dr (R1-0425-0001) – New single-family residence

The septic system needs to be engineered and provide us with a drafted, to-scale site plan with the engineered system located on that site plan.

Motion made by Planning & Zoning Commission Member Schou to table R1-0425-0001 until our building official has reviewed the plan, the septic system has been engineered, and a to-scale updated site plan is provided. Seconded by Planning & Zoning Vice Chairman Stewart.

Voting Yea: Planning & Zoning Commission Member Schou, Planning & Zoning Vice Chairman Stewart, Planning & Zoning Chairman Wilson

c. **LYTLE, CURTIS AND BRANDY:** Lot #40, Riverview Meadows, 341 Snake River Dr.(R1-0525-001) – New single-family residence

The site plan looks good and meets all the requirements.

Motion made by Planning & Zoning Commission Member Schou to approve the site plan for R1-0525-001, seconded by Planning & Zoning Vice Chairman Stewart. Voting Yea: Planning & Zoning Commission Member Schou, Planning & Zoning Vice Chairman Stewart, Planning & Zoning Chairman Wilson

- d. ALPINE ON, LLC (ALPINE VALLEY RV RESORT): Lot #37 Snake River Junction (C-0525-0002) – Commercial Building

The site plan looks good and meets all the requirements.

Motion made by Planning & Zoning Commission Member Schou to approve site plan for C-0525-0002, seconded by Planning & Zoning Vice Chairman Stewart. Voting Yea: Planning & Zoning Commission Member Schou, Planning & Zoning Vice Chairman Stewart, Planning & Zoning Chairman Wilson

- e. KURT LINFORD DDS: Lot #302 Riverview Meadows – Encroachment Application for parking lot

Planning and Zoning Commission recommends that Mr. Linford get a surveyor to get his property lines identified and staked, have one-call to locate other utilities, and get either the Special Use Permit or Encroachment Permit completed. Once that is done, he will need to come back to a Planning and Zoning Meeting so they can review it and make a formal recommendation to the Town Council. It will then proceed to the Town Council.

Mr. Linford asked if it can stay the way it is until the proper forms/permits have been filed and approved. The Commission stated that it would be fine.

Motion made by Planning & Zoning Commission Member Schou to table a decision on Mr. Linford’s Driveway/Encroachment until he has fulfilled the recommendations. Seconded by Planning & Zoning Vice Chairman Stewart. Voting Yea: Planning & Zoning Commission Member Schou, Planning & Zoning Vice Chairman Stewart, Planning & Zoning Chairman Wilson

4. PLANNING AND ZONING DISCUSSION ITEMS:

BENNETT, BRETT AND META: Lot #27 Greys River Village #2, 368 Wooden Spur Dr. – Existing non-conforming, renovation, addition, & accessory structure

Mr. Bennett is here for clarification of his proposed garage addition and remodel

Mr. Bennett has proposed constructing a stand-alone garage on a property with an existing non-conforming home and converting the attached garage into a livable interior space. He has asked for clarification on several items that were discussed with the Planning & Zoning Commission:

- 1. Floor Area Determination for Accessory Structures
a. Mr. Schou stated his understanding that the floor area should be determined based on habitable space. A garage is not considered habitable space and therefore does not count toward floor area calculations. The other members of the Commission expressed uncertainty and agreed that this interpretation raises a valid point. There was a consensus that the current

definition of floor area in the LUDC lacks clarity on this matter and should be further reviewed and clearly defined during the next round of updates to the Land Use and Development Code.

b. All members agreed that porch areas are not included in floor area calculations, as they are not enclosed habitable space.

2. Connecting Structures & Impact on Non-Conforming Status

a. Mr. Schou suggested that connecting the new garage to the existing structure (e.g., with a breezeway) might be beneficial.

b. However, Mr. Bennett raised a valid point: if the structures are connected, the entire addition would fall under the 20% maximum expansion allowance for non-conforming structures per the LUDC.

c. Given the small size of the existing structure, this would limit the allowable square footage for the new garage.

3. Permit Requirements

a. If the garage remains detached, two separate permits will be required:

i. One for the new accessory structure (garage)

ii. One for the remodel of the existing home (conversion of garage to interior space)

b. If Mr. Bennett chooses to connect the garage via a breezeway, a third permit is not required. The breezeway should be included in either the permit for the home remodel or the accessory garage structure.

5. APPROVAL OF MINUTES:

a. P&Z Meeting Minutes for April 8th, 2025

Motion made by Planning & Zoning Commission Member Schou to approve the minutes for April 8, 2025, seconded by Planning & Zoning Vice Chairman Stewart.

Voting Yea: Planning & Zoning Commission Member Schou, Planning & Zoning Vice Chairman Stewart, Planning & Zoning Chairman Wilson

6. TOWN COUNCIL ASSIGNMENT:

Rachael Stewart will attend the next Town Council meeting on May 20, 2025.

7. ADJOURN MEETING:

Motion made by Planning & Zoning Commission Member Schou to adjourn at 8:30 pm, seconded by Planning & Zoning Vice Chairman Stewart.

Voting Yea: Planning & Zoning Commission Member Schou, Planning & Zoning Vice Chairman Stewart, Planning & Zoning Chairman Wilson