



PLANNING & ZONING COMMISSION

*August 12, 2025, at 7:00 PM
250 River Circle - Alpine, WY 83128*

AGENDA

1. CALL TO ORDER:

2. ROLL CALL & ESTABLISH QUORUM:

3. TONIGHT'S APPOINTMENTS/ NEW BUSINESS:

- a. PANTONE, ANNA Lot #40 of Forest Meadow. 504 Three Rivers Dr. (G-0725-0001)- New detached garage/accessory building
- b. NORTH LINCOLN COUNTY HOSPITAL, DBA STAR VALLEY HEALTH- 37 WINTERGREEN DRIVE, LOT #189 OF ALPINE MEADOWS-Installation of a Helipad
- c. BENNETT, BRETT, AND META Lot #27 Greys River Village, 368 Wooden Spur Dr. (REM-0625-0001)- Remodel and addition to existing home and addition of an accessory building

4. TABLED ITEMS:

5. UNFINISHED/ONGOING BUSINESS:

6. PLANNING/ZONING CORRESPONDENCE:

PLANNING AND ZONING DISCUSSION ITEMS:

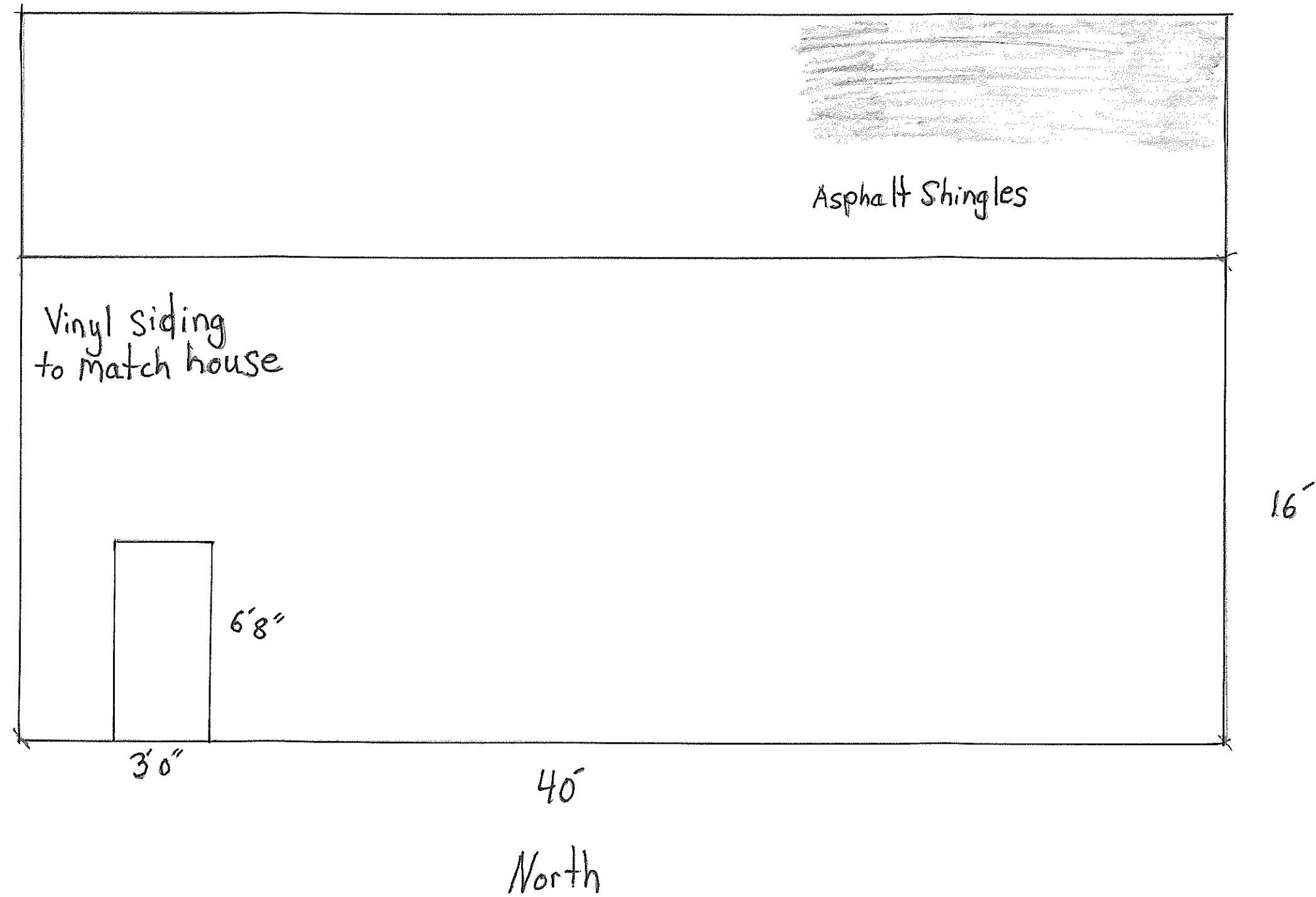
- a. [ALPINE EDUCATION FOUNDATION- Proposed Lot #15 of the Alpine West Third Edition- Review site plan for compliance and suggestions.](#)
- b. [Updating](#) to the 2024 International Code Council Codes.

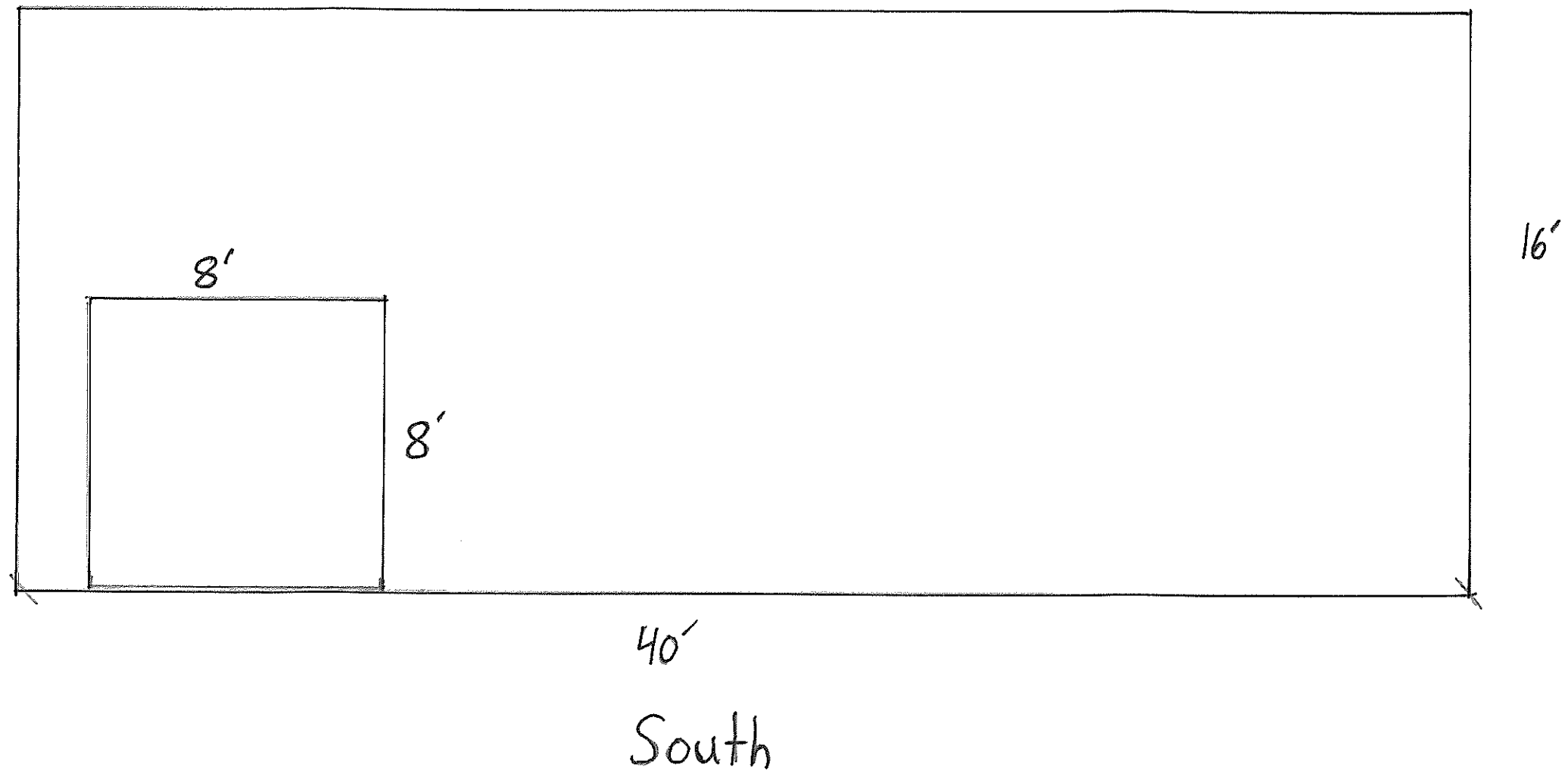
7. APPROVAL OF MINUTES:

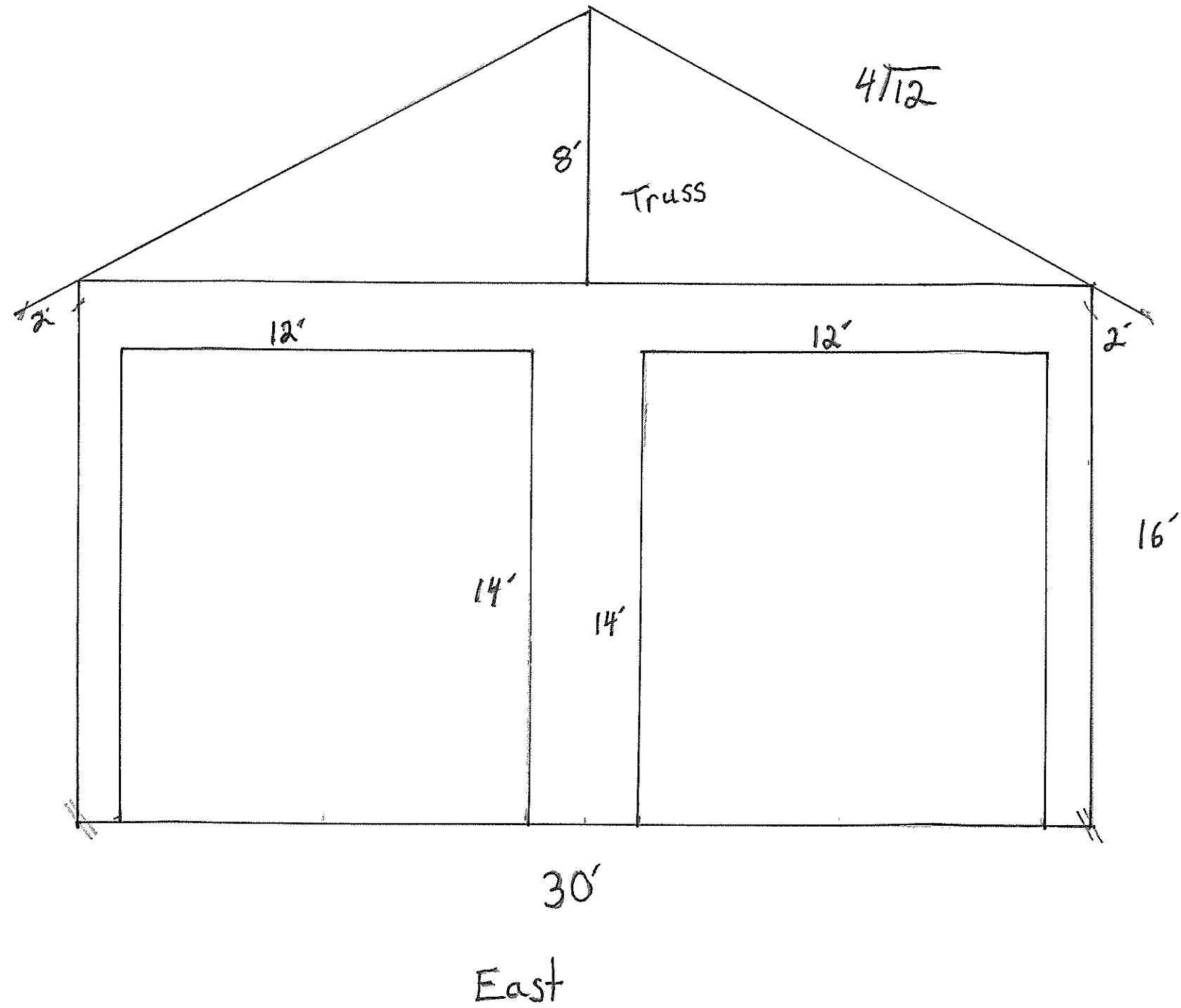
- a. Approval of July 8, 2025, meeting minutes

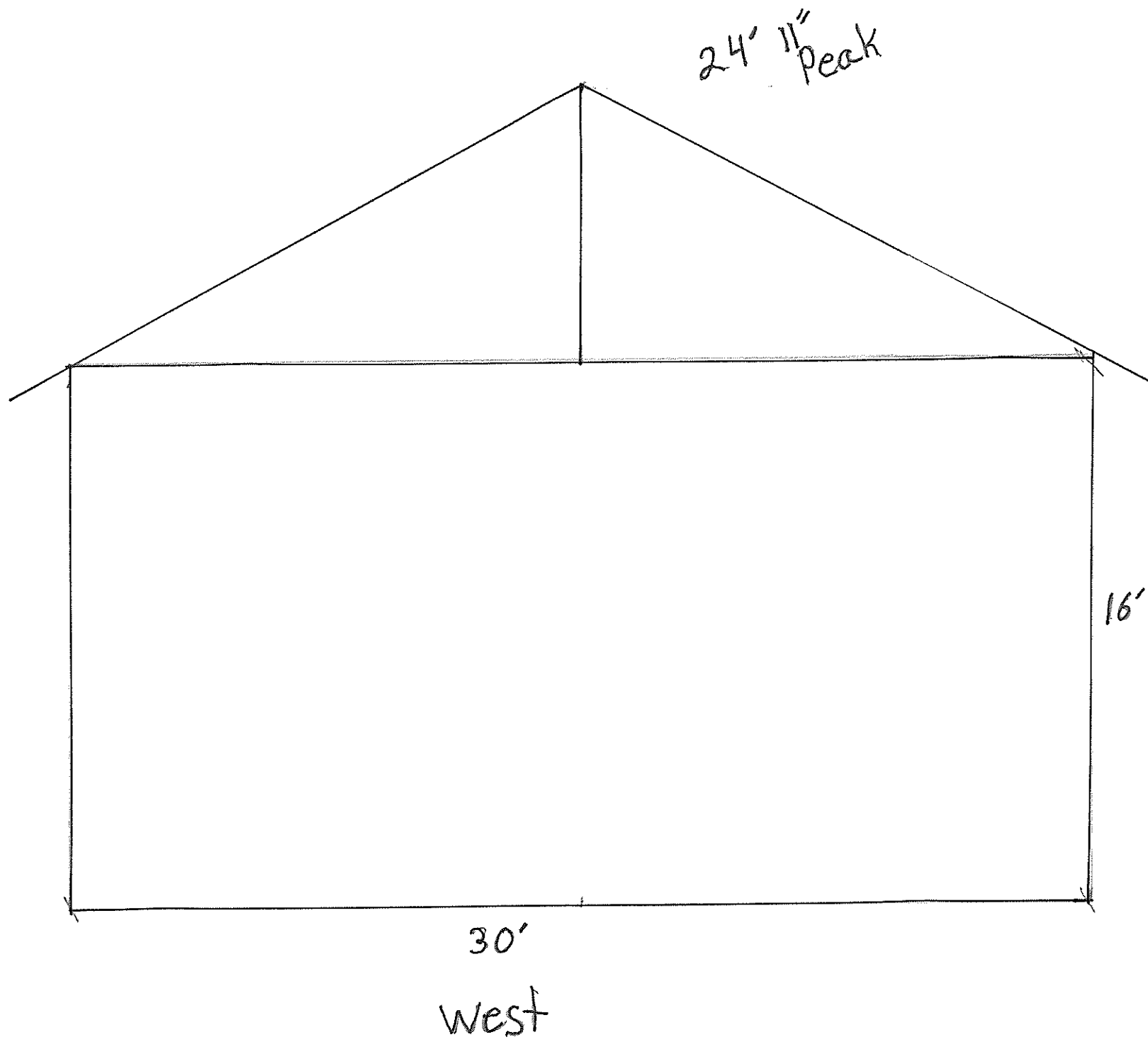
8. TOWN COUNCIL ASSIGNMENT:

9. ADJOURN MEETING:











Garage Permit Application

INFORMATION TO BE PROVIDED BY APPLICANT ~ ALL BLANKS MUST BE FILLED IN

PROJECT:

Physical Address:	504 Three Rivers Rd.		
Legal Description (Lot # and Subdivision):	#40, Forest Meadows		
Square Footage of Proposed Structure:	1200		
Does this Structure Include Habitable Living Space: {Circle Answer}	NO		YES
Description (Intent of Permit):	Garage/Shop		
Estimated Valuation of Work:	\$40,000.00		

APPLICANT/CONTRACTOR/CONSULTANTS:

Owner:	Anna Pantone	Phone:	307-734-2943
Mailing Address:	Po Box 3361 Jackson, WY 83001		
Contractor:	JL Construction, Robert Shockey	Phone:	307-752-1839
Mailing Address:	Po Box 3377 Alpine, WY 83128		
Electrical Contractor:	owner	Phone:	
Mailing Address:			
Plumbing Contractor:	none	Phone:	
Mailing Address:			
Mechanical Contractor:	none	Phone:	
Mailing Address:			
Authorized Representative: (If different from Owner):	Michael Soderling		
Signature of Owner:	<i>Anna Pantone</i>	Date:	07/21/25

FOR USE BY TOWN:

Date Received:	Permit #:	Use Zone:
Permit Fees:	Paid Fees: (Check# / Cash)	Date Paid:



Town of Alpine

Garage Permit CHECKLIST

There will be NO guarantees of being on the P & Z Agenda if...

- Your application is turned in after the deadline date/day; or,
- If your garage permit packet (application, checklist, fee payments, all required information, etc.,) is not completed and/or submitted; or,
- Your review is found to be incomplete and/or not approved by the Town Building Official.

Owner: Anna Pantone Phone #'s: 307-734-2943

Lot#/Subdiv. #40 Forest Meadows Physical Address: 504 Three Rivers Rd.

You may submit your Building Application Packet by mail to: PO Box 3070, Alpine, WY 83128

Or deliver in person to: 250 River Circle, Alpine, WY 83128

#1 - REVIEW AND COMPLETE ALL APPROPRIATE AREAS; PLACE A CHECK MARK ONCE COMPLETED:

- ALL information is filled out and submitted as requested by the Town of Alpine;
- ALL Contractors/Subcontractors obtained a **Town of Alpine Business License**;
- Requested Water Main Locate prior to ANY digging (Owner's Responsibility);
- Requested all other utility(electrical, phone, etc) lines located prior to ANY digging (Owner's Responsibility)
- Must have written approval from Homeowner's Association on Building Plans (if Applicable)

#2 - GETTING A BUILDING PERMIT:

- ☒ Garage Permit Application Completed and Signed;
- ☒ Garage Permit Checklist Completed and Signed;
- ☒ Owner must read and sign Garage Permit Instructions;
- ☒ **Payment of Permit Fees, which MUST be paid when submitting the Building Permit Application;**
*****See Fee Schedule ** ALL FEES ARE NON REFUNDABLE**

SUBMITTAL REQUIREMENTS: SITE PLAN TO BE PUT ON 2' BY 3' PAPER SIZE AND MUST CONTAIN:

- ☒ Setback distances;
- ☒ All Property Line & measurements according to surveyor's dimensions;
- ☒ Location & Dimensions of ALL buildings (home, garage, yard hydrants, propane tanks etc.) Dimensions must include exact perimeter of the new proposed garage building – include any recessed areas when documenting;
- ☒ Location of utility connections;
- ☒ Location of all recorded easements;
- ☒ Proposed Snow Storage/Removal Areas as stated in Land Use and Development Code;
- ☒ Proposed Vehicular Parking Requirement as stated in Land Use and Development Code;

THREE (3) FULL SETS OF STRUCTURAL PLANS {2' x 3' IN SIZE} (MUST BE STAMPED BY A WYOMING LICENSED ENGINEER) - (MINIMUM SCALE 1/4" – 1'), PLUS A DIGITAL COPY OF THE SUBMITTAL:

- ☒ Detailed Building Elevations;
- ☒ Detailed Floor Plan;
- ☒ Detailed Wall Sections;
- ☒ Detailed Utilities {Plumbing, HVAC Systems, etc.,} and Electrical Plan;

Property Owner

Initials: AP

Page 1

- ☒ Detailed Footing/Foundation Plan and Building Material to be Used;
- ☒ Detailed Roof Plan and Building Material to be Used;
- ☒ Detailed Insulation Schedule {Energy Code, Rescheck or Comcheck Used};
- ☒ Detailed Window and Door Schedules/Identifications;
- ☒ Detailed Radon Mitigation System Identified;

ADDITIONAL SUBMITTALS NEEDED:

- ☒ Any Additional information and/or attachments as stipulated by the Wyoming Licensed Engineer associated with the project;
- ☒ Read Propane Tank Regulations (if applicable) Refer to Chapter 38 of IFC;
- ☒ Application for State of Wyoming Department of Fire Prevention & Electrical Safety (if applicable);

Please note that the Town of Alpine has adopted the **2021 International Building Codes**; refer to the adopted codes for additional information; in addition, please review the Town Adopted Building Code Ordinances located on our website for any exceptions granted by the Town of Alpine to the Adopted Building Codes.

#3 - TOWN RESPONSIBILITIES:

- ☐ Town Building Official approves plans, by conducting a plan review;
- ☐ Planning & Zoning Board approves the prepared site plan for the Garage Building Permit.

BUILDING/PROJECT INSPECTIONS:

Refer to the inspection schedule for the complete list of scheduled inspections for your project. **IT IS THE RESPONSIBILITY OF THE PERMIT HOLDER TO CALL FOR INSPECTIONS; a minimum of 48 hours notice is required. FAILURE TO NOTIFY THE TOWN OFFICE OF SCHEDULED INSPECTIONS MAY RESULT IN ADDITIONAL INSPECTION CHARGES, FINES, PENALTIES AND/OR REMOVAL OF THE WORK THAT WAS INSTALLED BUT NOT BEEN INSPECTED.**

CERTIFICATE OF COMPLETION/COMPLIANCE:

Upon final completion of all of the remodel/addition building requirements; *a final inspection will be completed; it is the applicant's responsibility to contact the Town Office to schedule the final inspection to receive your Certificate of Completion/Compliance.* A Certificate of Completion/Compliance represents the building can be **permanently** occupied.

***For more thorough information and instructions: Refer to the current version of the adopted Town Ordinance of the International Building Code {IBC} and/or International Residential Code {IRC} in addition refer to the Alpine Land Use and Development Code Ordinance. Information can be found on our website at: www.alpinewy.gov/planningandzoning.**

Yes, I received, completed and understand the Garage Permit Checklist.




Property Owner Signature

07/21/25
Date



Contractor Signature (if applicable)

7-21-25
Date

Property Owner
Initials: 

FOR USE BY TOWN:

Received By:	
All Items have been Completed & Application Accepted:	
Incomplete Application Returned:	
Submitted to Building Official:	
Building Official Review Status:	
Building Official Approval or Return:	
Scheduled Meeting Date for Site Plan Review:	
Notes:	

Property Owner
Initials:

GENERAL STRUCTURAL NOTES

1. The Contractor shall verify all field dimensions prior to fabrication & erection.
2. If there are any omissions, errors or discrepancies discovered within these plans (i.e. dimension conflicts), contact the Architect or Engineer of Record for clarification and/or correction prior to continuing with construction.

3. All plan dimensions as indicated on these plans or on architectural plans are assumed to be from face of studs or face of concrete UNO.

4. Design Loading Criteria

4.1. Roof:	Dead Live Snow (Uniform Roof) *Per Jurisdiction	10 psf 20 psf 100 psf
Walls:	Exterior:	10 psf
4.2. Risk Cat:	II	
4.3. Wind:	Basic Speed: Exposure Ceiling Pitch Kz = 1.00	105 mph (Ult.) C 4-12 lw = 100
4.4. Seismic:	Lat: 43.159945° N Long: 111.003935° W Site Class = D Des. Cat. = D Ss = 1.113 Sps = 0.890 Si = 0.343 Sd1 = n/a Ie = 1.00 Ip = 1.00 Rw/sd = 6.5 Cw/sd = 0.254	

FOUNDATION NOTES

1. Minimum allowable soil pressures, per 2018 IBC:

1.1. Dead + Live	1500 psf
1.2. Dead + Live + Wind/Earthquake	2000 psf

***Covenant Engineering shall not be responsible for any negative effects, damage or other detrimental results related to inadequate or uncompacted soil and/or backfill conditions.

SAFETY NOTES

1. It is the Contractors' responsibility to comply with all federal and state regulations regarding maintaining a safe work environment and performing work in a safe manner. It is the Contractors' responsibility to be aware and comply with all OSHA requirements that may apply to this construction project.

STRUCTURAL REFERENCE CODES

1. All work to be performed under these project plans shall conform to the following applicable codes and any applicable supplements and amendments:

1. 2018 International Building Code
2. ASCE 7-16 Minimum Design Loads for Buildings and Other Structures
3. ACI 318-14 Building Code And Commentary (Concrete)
4. ANSI/AFPA NDS-2015 National Design Specification for Wood Construction

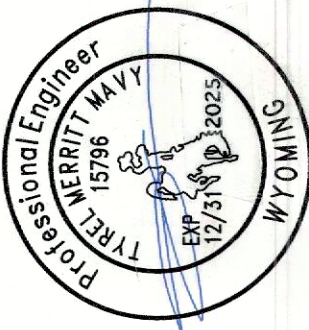
STRUCTURAL SHEET INDEX

- S00 STRUCTURAL NOTES & REFERENCES
- S10 FOUNDATION & LATERAL PLAN & DETAILS
- S11 ROOF FRAMING PLAN & DETAILS

STRUCTURAL ABBREVIATIONS

LLV	Long Leg Vertical	SDST	Self Drilling Self Tapping Screw
LP	Louisiana Pacific Corp.	Sht	Sheet
Lt	Light	Shg	Sheathing
LWC	Light Weight Concrete	Sim	Similar
MB	Machine Bolt	SLV	Short Leg Vertical
Max	Maximum	SMS	Sheet Metal Screw
Mfr	Manufacturer	SOG	Slab-On-Grade
Min	Minimum	Spec	Specification(s)
Mtl	Metal	SS	Stainless Steel
(N)	New	Sld	Standard
No.	Number	Sigr	Staggered
N5	Near Side	Stiff	Stiffener
NTS	Not To Scale	Stl	Steel
NUC	Normal Weight Concrete	Struct	Structural
OC	On Center	Sq	Square
OD	Outside Diameter	T&B	Top & Bottom
Opn	Opening	T&G	Tongue & Groove
Opp	Opposite	TF	Top Flange
OS	Opposite Side(s)	Thk	Thickness (Thickness)
Par	Parallel	TJI	Trus-Joist Inc.
Perp	Perpendicular	TO	Top Of
PDF	Powder Driven Fastener	Trans	Transition
PL	Plate	Transv	Transverse
PLY	Plywood	Typ	Typical
Press	Pressure	(U)	Unistrut Corp.
psf	Pounds per Square Foot	UNO	Unless Noted Otherwise
psi	Pounds per Square Inch	URY	Unreinforced Masonry
FT	Pressure Treated Foot w/	OW	Open Web Joist
Pur	Purlin	Ver	Vertical
Rad	Radius	w/	With
Reinf	Reinforcing	w/o	Without
Reqd	Required	WF	Wide Flange
(S)	Simpson Strong Tie	WP	Work Point
SC	Saw Cut, Slip-Critical	WS	Wood Screw
Sched	Schedule	Wt	Weight
		WUF	Welded Wire Fabric
		Wd	Wood
		Wy	Way

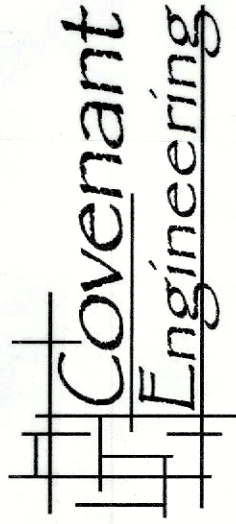
STAMP:



PROJECT:

504 THREE RIVERS DR.
(N) SHOP
OWNER: ANNA PANTONE
504 THREE RIVERS DR.
ALPINE, WY 83128

CONSULTANTS:



PO Box 4260
Bedford, WY 83112
ph: 916-838-1973/307-883-6515
web: covenantengineers.com

ISSUES: REVISIONS:

NO. DATE BY DESCRIPTION

SHEET DESCRIPTION:

STRUCTURAL
NOTES +
REFERENCES

JOB NUMBER: P22056

SCALE: AS NOTED

DATE: 2025

DRAWN BY: TMM

CHECKED BY:

SHEET NUMBER:

S00

1 OF 3 STRUCTURAL SHEETS

CADD FILE NUMBER: P22056.dwg

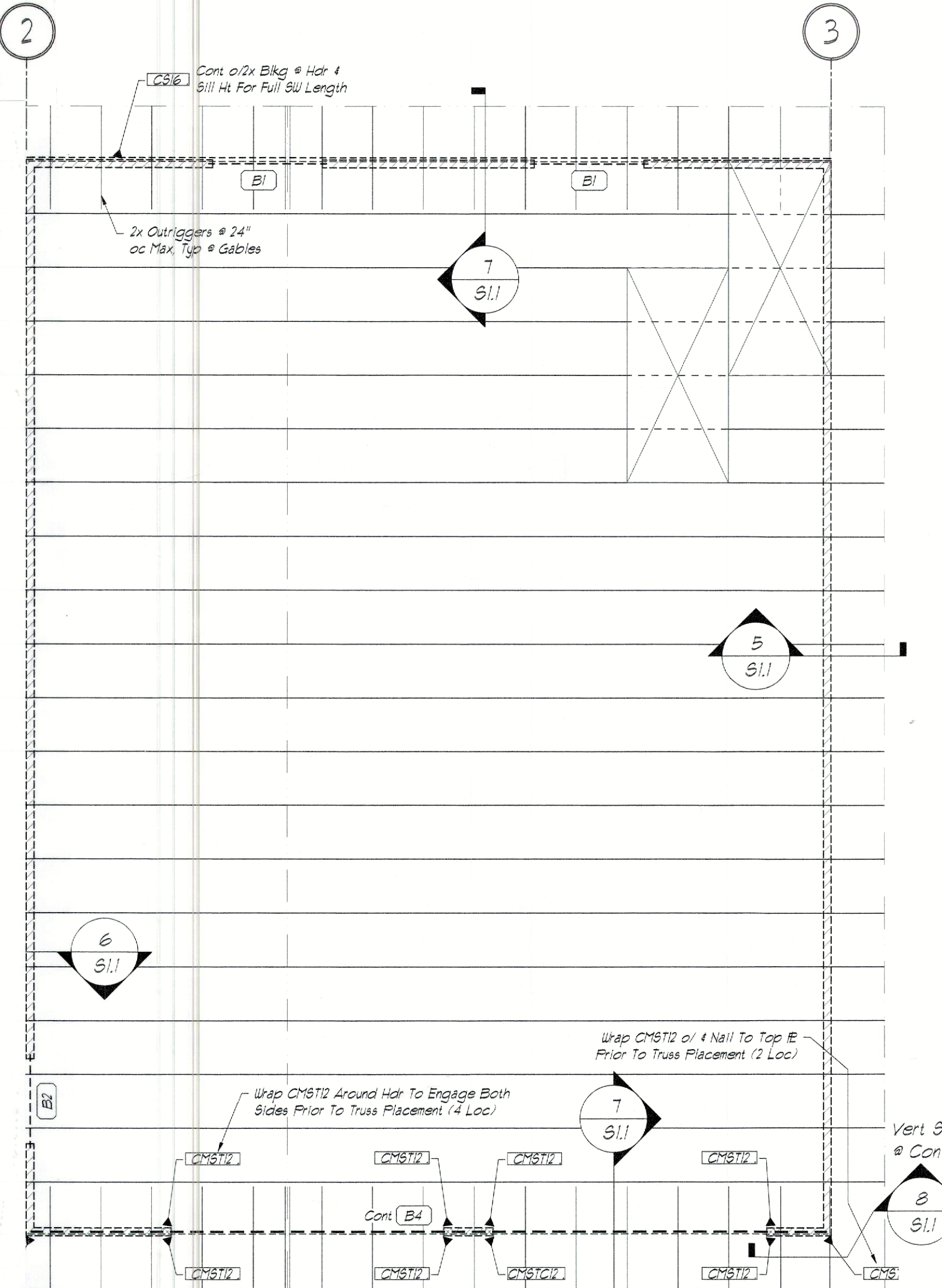
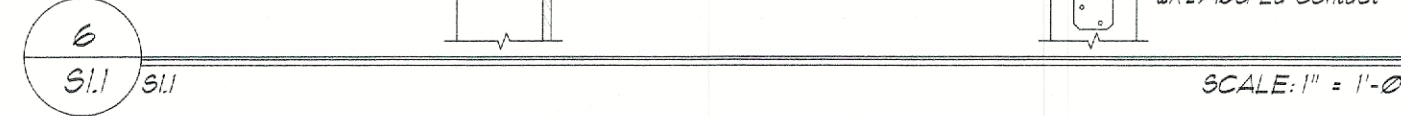
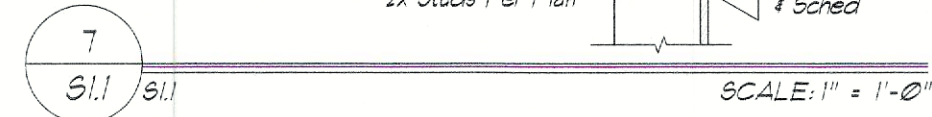
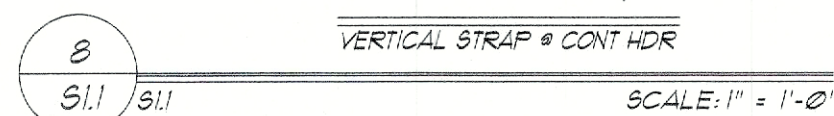
ROOF DIAPHRAGM SCHEDULE

ROOF FRAMING SCHEDULE

NOTE5:
1. All sizes and grades are req'd minimum. See sheet S00 for material specifications.

STRAP SCHEDULE

NOTE5:
1. All straps are req'd minimum. Larger straps and/or more fasteners OK w/o prior approval.



SCALE: $\frac{1}{4}'' = 1'-0''$

PROJECT:



(N) SHOP

OWNER: ANNA PANTONE
504 THREE RIVERS DR.
ALPINE, WY 83128

Covenant
Engineering

PO Box 4260
Bedford, WY 83112
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web: covenantengineers.com

NO.	DATE	BY	DESCRIPTION
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SHEET DESCRIPTION:
ROOF FRAMING
PLAN + DETAILS

SCALE: AS NOTED

DATE: 2025

DRAWN BY: TMM

CHECKED BY

SHEET NUMBER:

\$1.1

2 OF 3 STRUCTURAL SHEETS

2 01 0 STRUCTURAL SHEET

HOLD-DOWN SCHEDULE

MARK	FASTENERS	ROD/ANCHOR/STRAP EL	WOOD VERT	CAPACITY	NOTES
HDU4	10" 1/4 x 3 1/2 SDB Screws	95# 1/2" To Conc	Dbl 2x Or 4x	4565*	n/a

NOTES:
1. UNO orient all concrete anchor embed ends approx centered within concrete walls, stems & footings.
2. Prior approval by Engineer-of-Record is required for any substitutions for or alterations to this table.

SHEARWALL SCHEDULE

MARK	SHEATHING	EDGE NAILING	FIELD NAILING	END NAILING	SILL NAILING	SILL BOLTING	SHEAR CLIP	CAPACITY	NOTES
A	1/4 C-C, C-D Or OSB	2d @ 6" O.C.	2d @ 12" O.C.	2x DFP	16d @ 8"	3/8" @ 48"	(3) A34 @ 24" Or (3) L930 @ 48"	260 plf	n/a
B	1/4 C-C, C-D Or OSB	2d @ 3" O.C.	2d @ 12" O.C.	2x DFP	16d @ 8"	3/8" @ 48"	(3) A34 @ 24" Or (3) L930 @ 48"	430 plf	Sigd EN @ 1/2" Nom Framing @ Panel Edges

NOTES:
1. All exterior walls shall be sheathed & nailed to match minimum sheath/requirements UNO.
2. Foundation E (Sill E) in contact with concrete or masonry shall be pressure-treated.
3. Anchor bolts shall have 3" dia x 10" length. Top UNO.
4. Rebar and spacing is based on shearwall demand and is only required to be installed for the shearwall design length and locations as indicated per plan.
5. Rebar and spacing is based on diaphragm demand and continuous plates, and shall be required for full length or continuous wall line with average spacing no more than that indicated.

POST SCHEDULE

MARK	POST	CAP	NOTES
P44	Wood 4 x 4	(3) ACE Or LCE	n/a
P60	Wood 6 x 6	(3) CCG Or 8in Preframed All (3) ACE Or LCE OK	PT @ Ext Loc

NOTES:
1. All sizes and grades are req'd minimum.
2. Solid posts may be replaced with built-up stud posts. See sheet SDB for requirements.
3. See sheet SDB for wood specifications.

BASE SCHEDULE

MARK	Type	BASE	Anchorage	NOTES
E	Wood Sill E	Wood Sill E	n/a	Set Post In Stud Wall Framing Blun Dbl Top 4 Sill E's
ST	Standoff Base	(3) A34 Or 8in	Wedge AB Per Mfr Kit	Mfr Equiv To Fit Timber Post OK

NOTES:
1. All specified sizes and grades are req'd minimum. See sheet SDB for material specifications.

FOUNDATION SCHEDULE

MARK	TYPE	SIZE	REINFORCING	NOTES
SLAB	SLAB	5" Trk	16x6x10 Ga WLF Or 13 @ 18" oc Centered Vert	Underlay: 2" Crushed Gravel Or Compacted Pad
FCI-4	CONT	1'-4" W x 0'-10" Trk	(2) #4 Cont w/ 13 Transv @ 32" oc Max	n/a
FP1-8	PAD	1'-8" SQ x 10" Trk	(2) #4 EW	n/a
FP2-4	PAD	2'-4" SQ x 10" Trk	(3) #4 EW	n/a

NOTES:
1. All sizes & quantities are req'd minimum. UNO it is acceptable to substitute larger sizes and/or more reinforcing without prior approval.
2. See sheet SDB for concrete and reinforcing specifications.

STUD WALL SCHEDULE

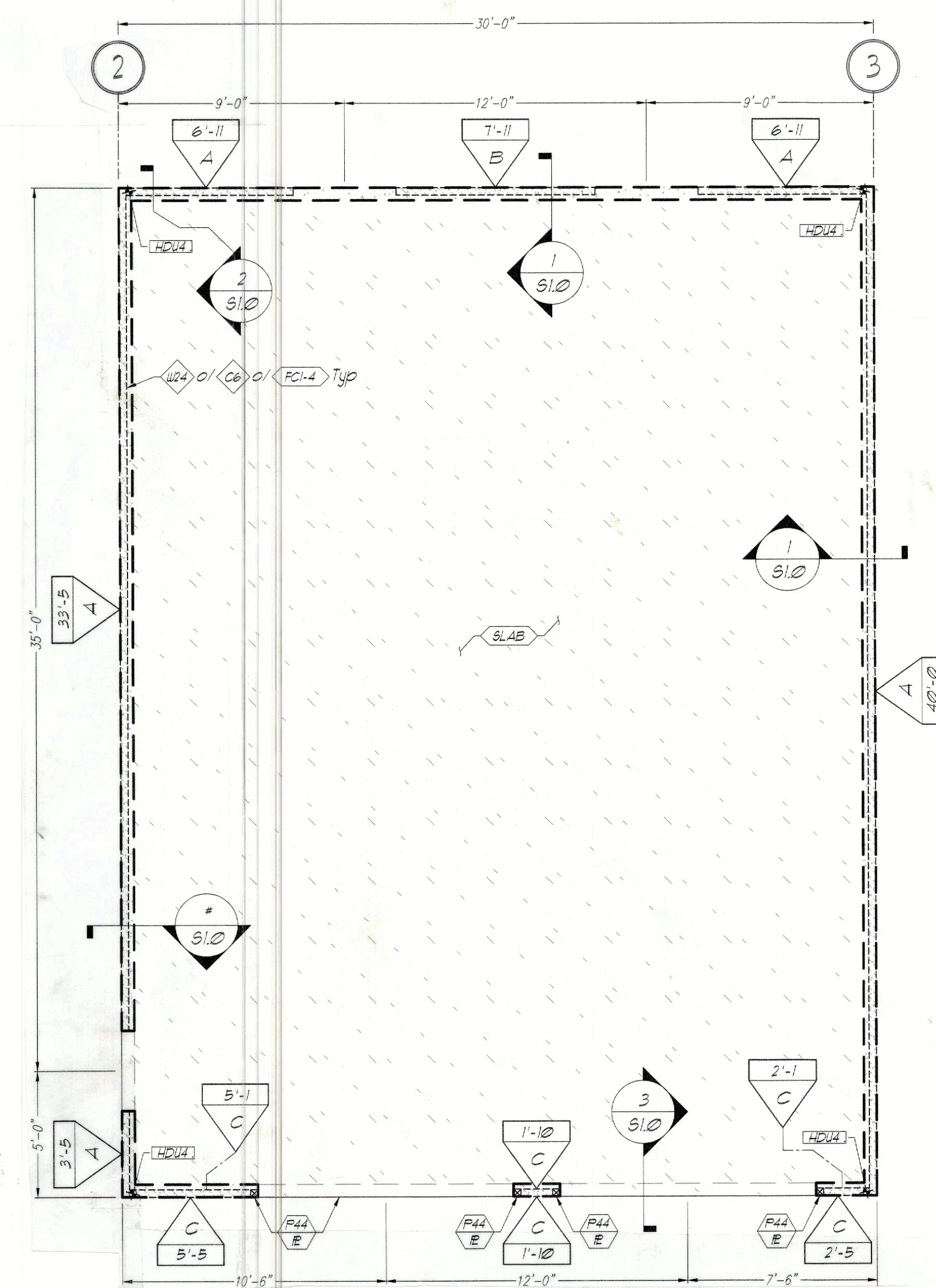
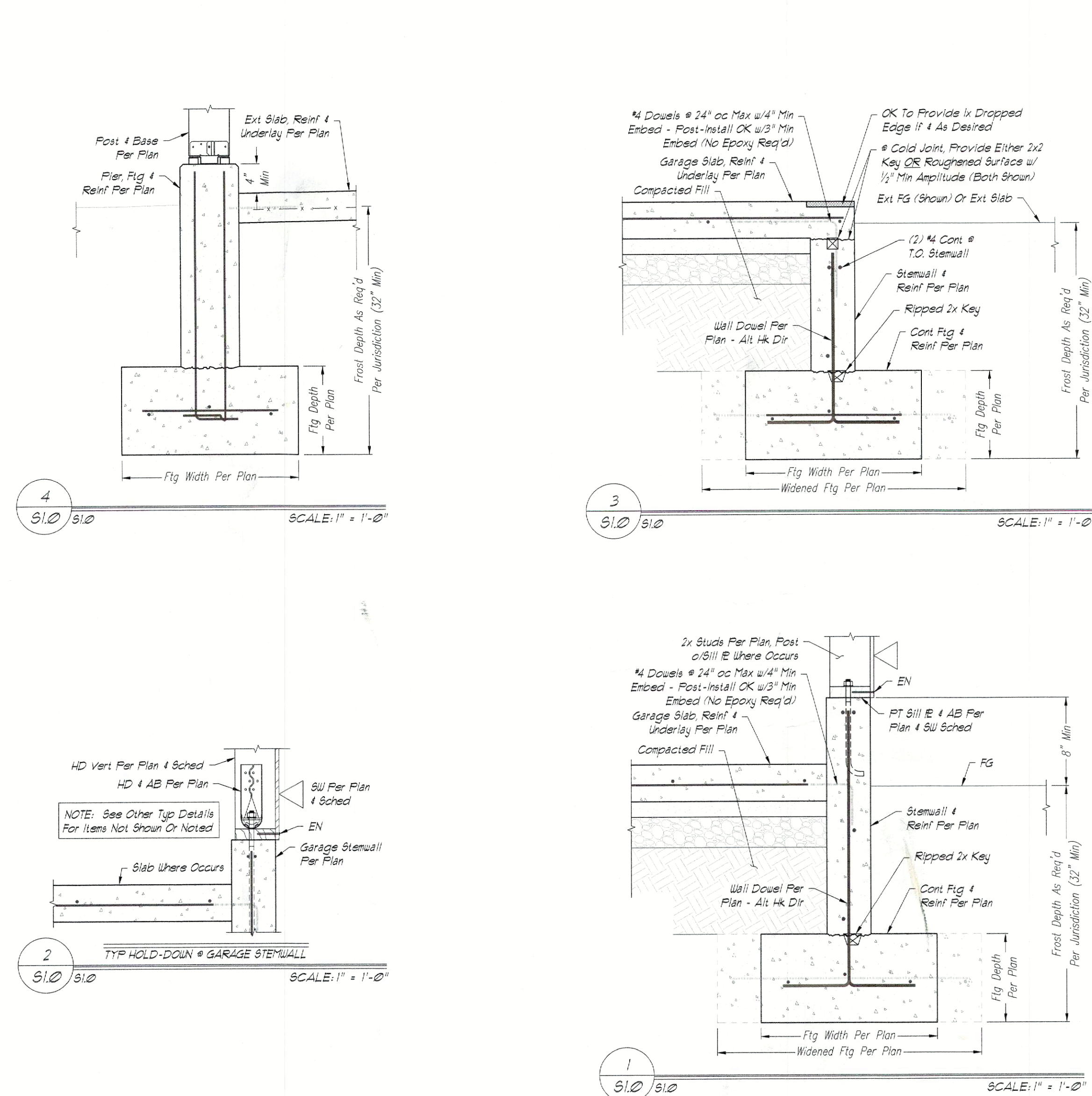
MARK	MATERIAL	DESCRIPTION	NOTES
W24	WOOD STUD	2x4 Studs @ 16" oc Max w/Dbl Top E	Typ Struct Stud Wall

NOTES:
1. See sheet SDB for concrete reinforcing & wood specifications.
2. It is permissible to use larger sizes, better grades or reduced stud spacing without prior approval.

CONCRETE WALL SCHEDULE

MARK	MATERIAL	DESCRIPTION	NOTES
CE	CONC	6" Trk w/ #4 @ 18" EW 4 (2) 13 @ T.O. Wall	Typ Stemwall

NOTES:
1. See sheet SDB for concrete reinforcing & wood specifications. See lateral plan for shearwall requirements.
2. It is permissible to use larger sizes, better grades or reduced stud spacing without prior approval.

**FOUNDATION + LATERAL PLAN**

SCALE: 1/4" = 1'-0"

STAMP:



PROJECT:

504 THREE RIVERS DR.

(N) SHOP

OWNER: ANNA PANTONE
504 THREE RIVERS DR.
ALPINE, WY 83128

CONSULTANTS:

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FOUNDATION + LATERAL PLAN + DETAILS

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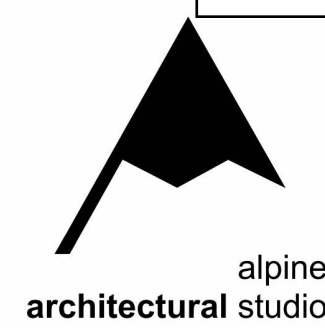
CHECKED BY:

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S1.0

2 OF 3 STRUCTURAL SHEETS

CADD FILE NUMBER: P22056.dwg



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STRUCTURAL ENGINEER
TSE ENGINEERS
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SHELLY, ID 83274
office@tetoneng.com

SHEET INDEX

GENERAL

G101 GENERAL NOTES & TYPICAL DETAILS
G102 MAP OF GREYS RIBER VILLAGE LOT-27
G103 EXISTING & DEMOLITION FLOOR PLANS
G104 EXISTING & DEMOLITION EXTERIOR ELEVATIONS

ARCHITECTURAL

A101 FIRST FLOOR PLAN
A102 SECOND FLOOR PLAN
A103 ROOF PLAN
A201 EXTERIOR ELEVATIONS
A202 EXTERIOR ELEVATIONS
A301 BUILDING SECTIONS
A302 BUILDING SECTIONS & SCHEDULES
A303 PERSPECTIVE
A601 DOOR & WINDOW INSTALLATION

STRUCTURAL

S1 GENERAL NOTES & TYPICAL DETAILS
S2 SHEAR WALL PLANS
S3 FOUNDATION PLAN
S4 ROOF FRAMING PLANS
S5 DETAILS

CODES UTILIZED

IRC 2021
TOWN OF ALPINE LAND USE DEVELOPMENT CODE

PROJECT DESCRIPTION

RESIDENTIAL GARAGE AND RENOVATION OF EXISTING SINGLE FAMILY DWELLING

OCCUPANCY

R101.2: ONE FAMILY DWELLING & ACCESSORY STRUCTURE

FIRE SPRINKLER SYSTEM

EXISTING: NO
PROPOSED: NO

FLOOR AREAS IN GROSS SQUARE FEET

ONE FAMILY DWELLING GROSS FLOOR AREAS:
EXISTING 1ST FLOOR DWELLING AREA: 1,216 SQFT
EXISTING ATTACHED GARAGE AREA: 528 SQFT
EXISTING 2ND FLOOR AREA: 295 SQFT
EXISTING 1ST COVERED PORCH: 132 SQFT

PROPOSED 1ST FLOOR ADDITION: 180 SQFT
COVERED PORCH TO LIVING ROOM: 132 SQFT
EXISTING GARAGE TO LIVING ROOM: 515 SQFT
PROPOSED DETACHED GARAGE: 678 SQFT
PROPOSED COVERED OUTDOOR AREA: 150 SQFT AT ENTRY + 312 SQFT AT DETACHED GARAGE

GENERAL CONSTRUCTION NOTES

- THIS PROJECT SHALL COMPLY WITH THE 2021 VERSION OF THE INTERNATIONAL RESIDENTIAL CODE INCLUDING ALL AMENDMENTS & THE TOWN OF ALPINE LAND USE DEVELOPMENT CODE. ANY BUILDING OFFICIAL, SUBCONTRACTOR OR TRADES PERSON NOTING DISCREPANCIES SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY THE TOWN OF ALPINE AND ANY OTHER GOVERNING AUTHORITIES, AS NECESSARY.
- ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED NEATLY ON SITE UNTIL DISPOSAL, WHICH SHALL BE DONE AT COUNTY LANDFILL OR RECYCLING FACILITY ONLY. NO DEBRIS IS TO BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING, CENTERLINE OF COLUMNS, OR FACE OF CONCRETE AND C.M.U. WALL.
- CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. STORAGE OF SUPPLIES SHALL REMAIN DRY.
- ALL SUBSTITUTIONS ARE TO BE APPROVED BY ARCHITECT/OWNER. ALONG WITH WRITTEN REQUESTS CONTRACTOR SHALL PROVIDE ALL INFORMATION REGARDING THE SUBSTITUTION IN QUESTION, INCLUDING COST, AVAILABILITY AND REASON FOR SUBSTITUTION.
- NON-COMBUSTIBLE BLOCKING, INSULATION OR OTHER FIRESTOP MATERIAL IS TO BE PROVIDED BETWEEN STORIES, BETWEEN TOP STORY AND ROOF SPACE, BETWEEN STAIR STRINGERS AT TOP AND BOTTOM, BETWEEN STUDS ALONG STAIR RUNS AND AT ALL OTHER PLACES THAT COULD ALLOW THE PASSAGE OF FLAME.
- CONTRACTOR SHALL PROVIDE SAMPLES OF ALL FINISHES AND STAIN COLORS FOR APPROVAL BY ARCHITECT/OWNER. THIS INCLUDES BUT IS NOT LIMITED TO INTERIOR AND EXTERIOR STAINS, INTERIOR PAINT, SHEETROCK TEXTURES, CHEMICALLY APPLIED METAL PATINAS, AND STONE VENEER MATERIAL & MASONRY TECHNIQUE.
- ALL ELECTRICAL WORK TO BE PERFORMED BY WY LICENSED ELECTRICIAN.
- ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH WARRANTY GUIDELINES.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OWNER.
- CONTRACTOR RESPONSIBLE FOR PROVIDING, COORDINATION AND SUPERVISING TRENCHING OF UTILITIES AND SERVICES TO AND FROM BUILDING. LOCATE ALL UTILITIES PRIOR TO EXCAVATION. COORDINATION SHALL INCLUDE CONTRACTOR'S REASONABLE EFFORTS TO COMBINE AS MANY DIFFERENT UTILITIES IN COMMON TRENCHES AS PRACTICAL AND GOOD PRACTICE PERMIT.
- VERIFY EXISTING BUILDING DIMENSIONS
- VERIFY ALL BURIED UTILITIES PRIOR TO EXCAVATION.

SITE AREA CALCULATIONS

SITE AREA: 0.32 ACRES X 43,560 = 13,939.2 SQUARE FEET
MIN LANDSCAPED AREA REQUIRED: 1,393 SQUARE FEET
LANDSCAPED AREA PROVIDED: 9,404 SQUARE FEET

PARKING: (4) SPACES PROVIDED
(2) INSIDE GARAGE AND (2) IN DRIVEWAY)

DRIVEWAY AREA: 1,042 SQUARE FEET
SNOW STORGAE REQUIRED: 1,042 X 0.20 = 208.4 SQUARE FEET
SNOW STORAGE PROVIDED: 358 + 113 = 471 SQUARE FEET



VICINITY MAP: NTS

PROJECT LOCATION

ALPINE, WY 83128
368 WOODEN SPUR DR
WOODEN SPUR RENOVATION

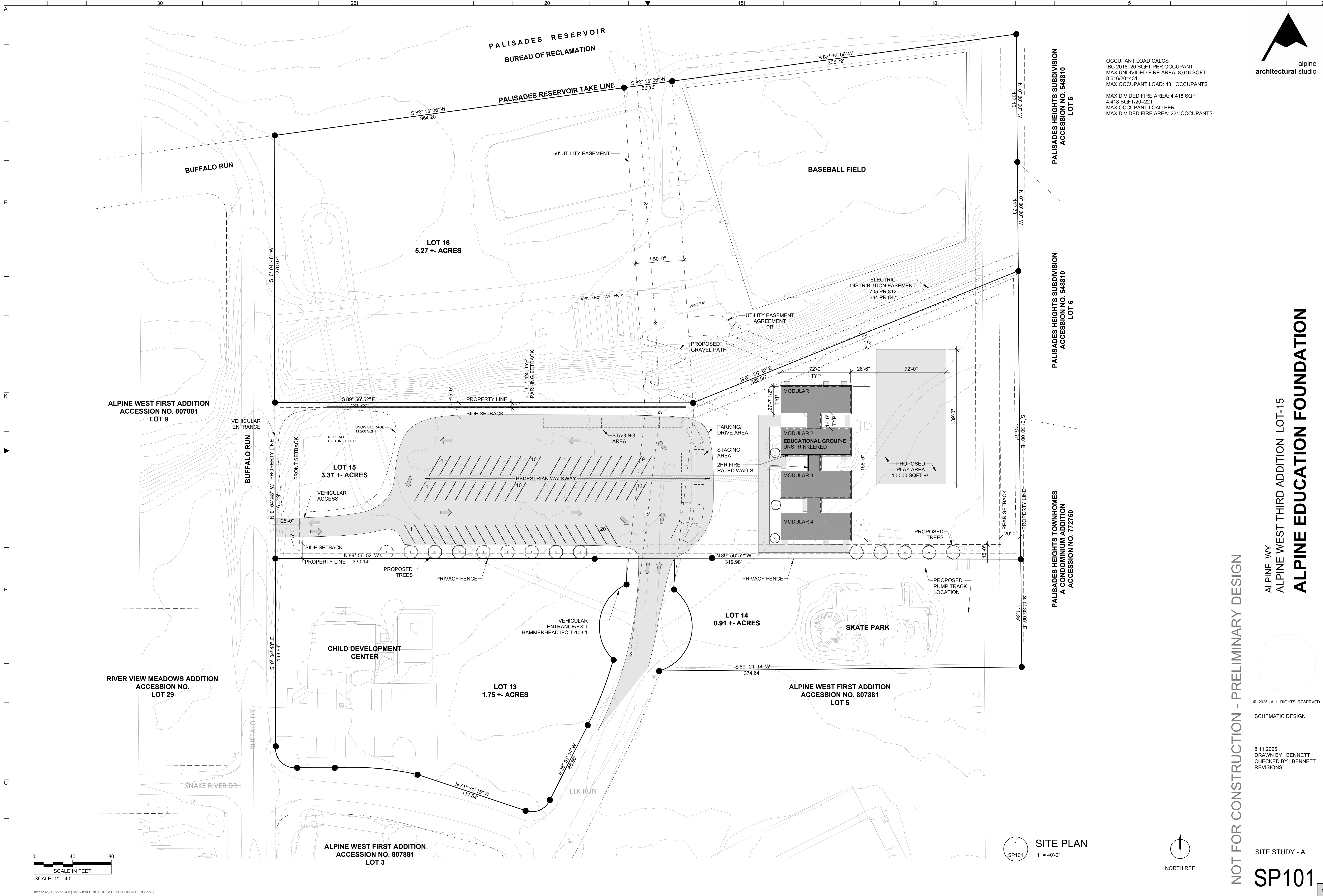
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PERMIT DRAWINGS

6.9.2025
DRAWN BY | BENNETT
CHECKED BY | BENNETT
REVISIONS
1 7.24.2025 GARAGE DIMS

COVER SHEET &
SITE PLAN

G101



ALPINE WEST FIRST ADDITION
ACCESSION NO. 807881
LOT 9

RIVER VIEW MEADOWS ADDITION
ACCESSION NO.
LOT 29

ALPINE WEST FIRST ADDITION
ACCESSION NO. 807881
LOT 3

LOT 13
1.75 +- ACRES

LOT 14
0.91 +- ACRES

LOT 15
3.37 +- ACRES

LOT 16
5.27 +- ACRES

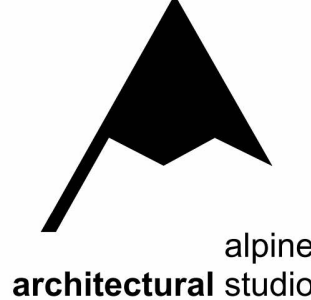
ALPINE WEST FIRST ADDITION
ACCESSION NO. 807881
LOT 5

PALISADES HEIGHTS TOWNHOMES
A CONDOMINIUM ADDITION
ACCESSION NO. 772750

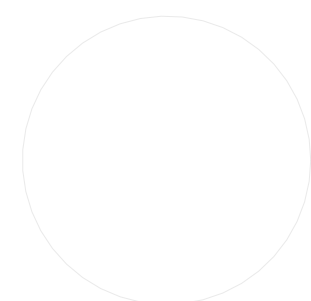
PALISADES HEIGHTS SUBDIVISION
ACCESSION NO. 548810
LOT 6

PALISADES HEIGHTS SUBDIVISION
ACCESSION NO. 548810
LOT 5

OCCUPANT LOAD CALCS
IBC 2018: 20 SQFT PER OCCUPANT
MAX UNDIVIDED FIRE AREA: 8,616 SQFT
8,616/20=431
MAX OCCUPANT LOAD: 431 OCCUPANTS
MAX DIVIDED FIRE AREA: 4,418 SQFT
4,418 SQFT/20=221
MAX OCCUPANT LOAD PER
MAX DIVIDED FIRE AREA: 221 OCCUPANTS



ALPINE WY
ALPINE WEST THIRD ADDITION LOT-15
ALPINE EDUCATION FOUNDATION



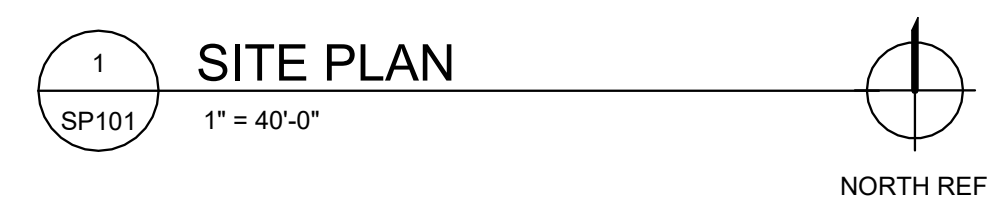
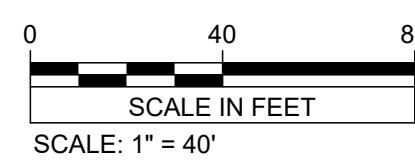
© 2025 | ALL RIGHTS RESERVED
SCHEMATIC DESIGN

8.11.2025
DRAWN BY | BENNETT
CHECKED BY | BENNETT
REVISIONS

SITE STUDY - A

SP101

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



ALPINE WEST THIRD ADDITION

LOCATION MAP T37N R118W

CERTIFICATE OF SURVEYOR

STATE OF WYOMING } ss.
COUNTY OF LINCOLN }

I, Karl F. Scherbel, of Afton, Wyoming, hereby certify that this plat was made from notes taken during an actual survey made by persons under my supervision during June 2025 and from records in the Office of the Clerk of Lincoln County and that it correctly represents **ALPINE WEST THIRD ADDITION**;

that said addition was accurately surveyed, that the parts thereof are accurately staked off and marked with appropriate metal monuments, including magnetic iron, and inscribed at least with the registration number of the Land Surveyor to provide source identification at all lot corners of the addition, and that their locations are correctly shown hereon;

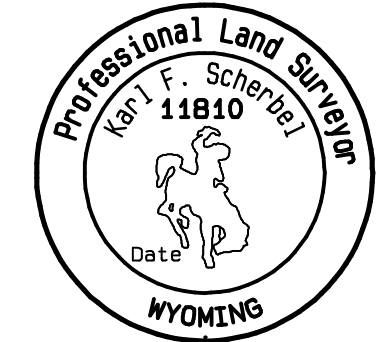
that, to the best of my knowledge, it conforms with the municipal code of the Town of Alpine and to all applicable state statutes;

that the error of closure is not greater than one part in five-thousand.

Encompassing an area of 11.18 acres, more or less.

That said addition is described as follows:

All of Lots 10, 11, and 12, and part of Elk Drive of Alpine West Second Addition, of record in the Office of the Clerk of Lincoln County with Accession No. 964113.

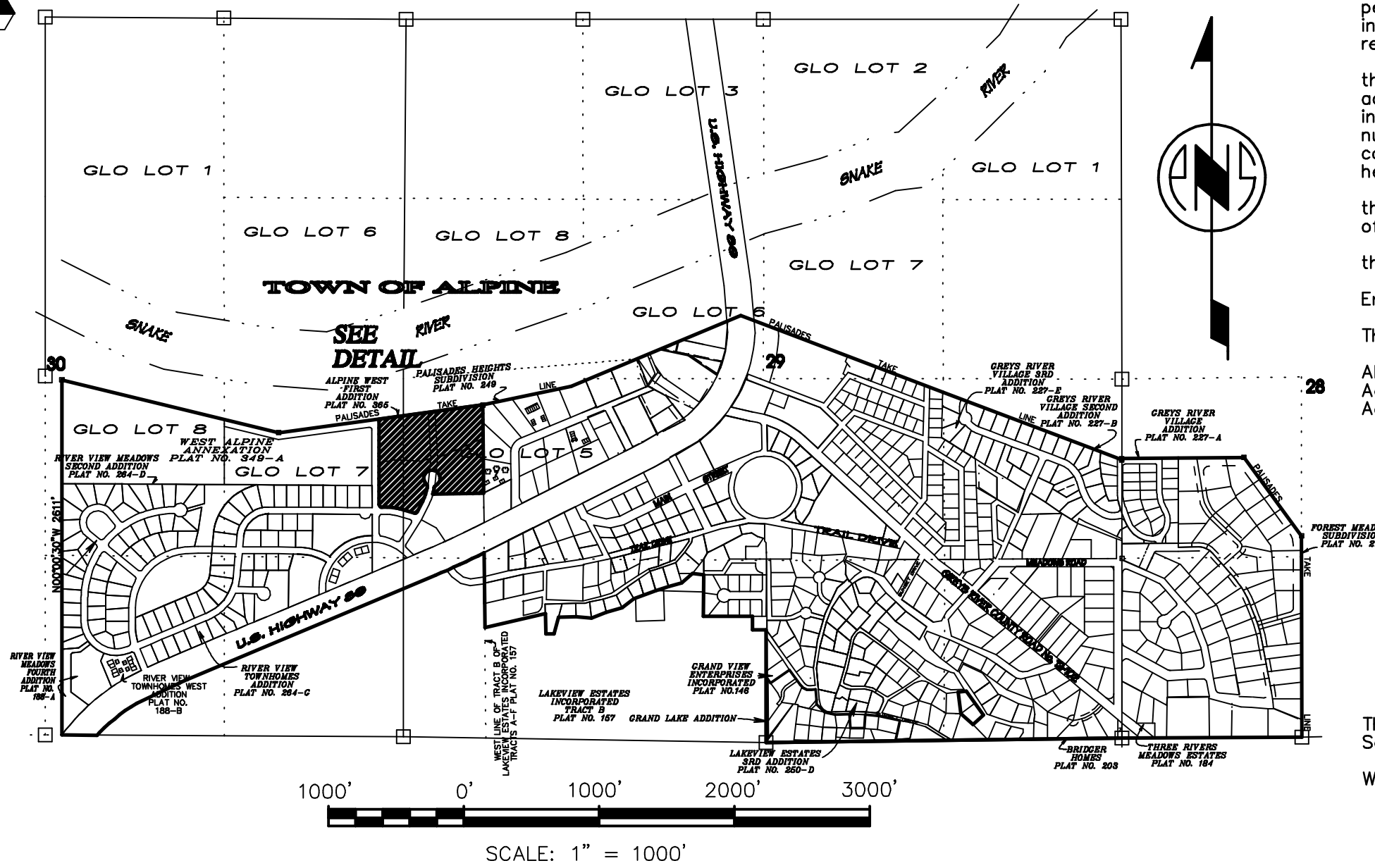


The foregoing instrument was acknowledged before me by Karl F. Scherbel this ___ day of ___, 2025.

Witness my hand and official seal.

Notary Public

My Commission expires:



CERTIFICATE OF OWNERS

STATE OF WYOMING } ss.
COUNTY OF LINCOLN }

The undersigned hereby certify that the subdivision of part of Alpine West Second Addition, within the incorporated limits of the Town of Alpine, Lincoln County, Wyoming, as shown on this plat and more particularly described in the Certificate of Surveyor, is with the free consent and in accordance with the desires of the owners and proprietors of the described lands;

that the name of the addition shall be **ALPINE WEST THIRD ADDITION** to the town of Alpine;

that they do hereby vacate Lots 10, 11, and 12 and that part of Elk Drive, as described under the Certificate of Surveyor, in accordance with Section 34-12-108, Wyoming Statutes 2021, as amended, and respectfully request the Clerk of Lincoln County to so mark said plat in accordance with Section 34-12-110;

that those rights of ingress, egress and utilities over, under, and along the vacated portion of Elk Drive, shown hereon as the Fifty (50) foot Utility Easement, previously granted to Lower Valley Energy, Silver Star Communications and other utility companies, their heirs, successors and assigns, including, but not limited to, water, sewer, power, telephone, cable television, gas, storm water drainage and irrigation facilities appurtenant to this addition and the adjoining lands, are hereby affirmed;

that said addition is subject to easements of record in the Office of the Clerk of Lincoln County;

that Elk Drive, as depicted upon this plat within the bounds of this addition is hereby dedicated to the public;

that all rights under and by virtue of the Homestead Exemption Laws of the State of Wyoming are hereby released.

TOWN OF ALPINE

attest:

Monica L. Chenault, Clerk

Eric Green, Mayor

CERTIFICATE OF ACCEPTANCE

STATE OF WYOMING } ss.
COUNTY OF LINCOLN }

The foregoing **ALPINE WEST THIRD ADDITION** was approved at the regular meeting of the Town of Alpine Planning and Zoning Commission on the ___ day of ___, 2025, in accordance with Sections 15-1-415 and 34-12-102, 103, Wyoming Statutes, 2021, as amended.

Attest: Town of Alpine

Monica L. Chenault, Clerk

Eric Green, Mayor

CERTIFICATE OF RECORDATION

This plat was filed for record in the Office of the Clerk of Lincoln County on this ___ day of ___, 2025.

April Brunski, Clerk

LEGEND

- Indicates a corner record filed or to be filed in the Office of the Clerk of Lincoln County.
- Indicates a steel T-shaped stake 24" long with a metal cap inscribed, "SURVEY POINT DO NOT DISTURB RLS 164", found or of record.
- Indicates a 5/8" x 24" steel reinforcing rod with an aluminum cap inscribed, "SURVEYOR SCHERBEL LTD", with appropriate details, found or of record.
- Indicates a 5/8"x24" steel reinforcing rod with 2" aluminum cap inscribed, "SURVEYOR SCHERBEL LTD", with appropriate details, set this survey.
- ⊞ Indicates an electrical transformer.
- ⚡ Indicates a water valve, water meter or yard hydrant.
- ⦿ Indicates a hydrant.
- ⊙ Indicates a manhole.
- Indicates an easement.
- S-S- Indicates an underground sanitary sewer line.
- x-x-x- Indicates an existing fence line.
- - - Indicates a centerline.

The Basis of Bearing for this survey is the north line of Lot 12 of Alpine West First Addition, of record in the Office of the Clerk of Lincoln County with Accession No. 807881, being N82°13'06"E.

OWNERS:

Town of Alpine
P.O. Box 3070
Alpine, Wyoming 83128

SURVEYOR:

Surveyor Scherbel, Ltd.
P.O. Box 725
Afton, Wyoming 83110
(307) 885-9319

LAND USE TABLE:

Total Number of Units:	4
Average Unit Size:	2.78± Acres
Total Acres:	11.18± Acres
Use of Units:	Commercial
Zoning:	C-2 Commercial

DATE:

June 2025

ALPINE WEST THIRD ADDITION

TO THE TOWN OF ALPINE

IDENTICAL WITH

LOTS 10, 11, AND 12 OF

ALPINE WEST SECOND ADDITION

WITHIN THE

SECTION 30

SE1/4

GLO LOT 5

SW1/4

T37N

R118W

LINCOLN COUNTY, WYOMING

CURVE TABLE

CURVE	LENGTH	DELTA	RADIUS	CHORD BEARING	CHORD	TANGENT
C1	22.43'	51°24'00"	25.00'	N35°13'55"E	21.68'	12.03'
C2	63.76'	80°02'55"	30.00'	N30°29'35"E	60.80'	35.28'
C3	61.80'	89°00'54"	30.00'	N29°27'19"W	59.10'	33.96'
C4	306.42'	287°49'59"	60.00'	N82°58'57"W	70.68'	
C5	74.12'	71°44'11"	60.00'	S35°58'13"W	70.31'	43.38'
C6	49.77'	46°57'04"	60.00'	S23°25'25"E	47.80'	26.06'
C7	24.91'	57°08'51"	25.00'	S18°19'31"E	23.91'	13.62'
C8	108.68'	16°36'20"	375.00'	S18°33'04"W	108.30'	54.73'
C9	46.93'	61°19'38"	25.00'	N12°44'37"E	46.91'	23.49'
C10	27.45'	78°13'20"	20.00'	N66°09'59"E	25.34'	16.38'
C11	31.42'	80°09'00"	20.00'	S45°04'48"E	28.28'	20.00'

SURVEYOR SCHERBEL, LTD.
PROFESSIONAL LAND SURVEYORS

BOX 96, 800 E. MAIN, MARLBOROUGH, WY 83119 TEL 807-876-3947
BOX 725, AFTON, WY 83110 TEL 307-885-9319 ALPINE, WY 83128 TEL 307-885-9319
JACKSON, WY TEL 307-759-5905; LAVA, ID TEL 208-776-5930; MONTPELIER, ID TEL 208-847-1854

REVISIONS:

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PLOT DATE: 10 June 2025

16

285 ORDINANCE NO. 2022-03

INTERNATIONAL BUILDING CODE

AN ORDINANCE REPEALING AND REPLACING 276 ORDINANCE NO. 2020-05 AND PROVIDING FOR THE ADOPTION OF THE INTERNATIONAL BUILDING CODE 2021 EDITION FOR THE TOWN OF ALPINE AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF ALPINE, WYOMING IN REGULAR SESSION DULY ASSEMBLED THAT:

SECTION I.

276 Ordinance No. 2020-05 is hereby repealed in its entirety.

SECTION II.

Permit Required- Application.

It is unlawful for any person to erect, construct, reconstruct, alter or change the use of any building or other structure within the town limits without obtaining a building permit from the Town of Alpine. The Town shall not issue any permit unless the plans of and for the proposed erection, construction, reconstruction, alteration or use fully conforms to the zoning regulations, subdivision regulations and building regulations then in effect. All applications for building permits shall be accompanied by all documentations as required on the building permit application. All building permit fees are to be determined by the town council by resolution or ordinance and may be changed from time to time.

SECTION III.

International Building Code.

All buildings and temporary structures built or located within the Town from and after the established effective date, upon approval and passage of this Ordinance, shall be constructed in accordance with the requirements of the International Building Code (IBC) 2021 Edition as published by the International Code Council, specifically excluding all appendices. The International Building Code (OBC) 2018 Edition is hereby adopted and incorporated herein by reference with the exception of the following amendments:

1. Section 101.4.8 **Electrical** shall read, "The provisions of the *National Electrical Code* shall apply to the installation of electrical systems, including alterations, repairs, replacement equipment, appliances, fixtures, fittings and appurtenances thereto".
2. The last sentence of Section 101.4.3 **Plumbing** shall read, "The provisions of the *Wyoming Department of Environmental Quality* shall apply to private sewage disposal systems".
3. Section 101.4.4 **Property Maintenance** shall be deleted on its entirety.

4. Section 102.1 **General** shall have a second sentence added which shall read, "Substitute the *National Electrical Code* for all reference to the *ICC Electrical Code* throughout the IBC".
5. Section 103.3 **Deputies** shall be amended by deleting the last sentence.
6. Section 105.2 **Work exempt from permit**. Delete #1 and #2. Item 11 shall read, "Swings and other playground equipment".
7. Section 105.3.2 **Time limitation of application** shall be deleted in its entirety.
8. Section 105.5 **Expiration** shall be deleted in its entirety.
9. Section 105.5 **Expiration**. The last sentence shall be revised to read, "The Town of Alpine is authorized to grant in writing one extension of time for a period of not more than one (1) year."
10. Section 107.1 **General**. Construction documents, special inspection and structural observation programs, and other data shall be submitted in three sets with each application for a permit. The construction documents shall be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed. Where special conditions exist, the Planning and Zoning Commission is authorized to require additional construction documents to be prepared by a registered design professional.
11. Section 108.3 **Temporary Power**. The last sentence shall read, "The part covered by the temporary certificate shall comply with the requirements specified for temporary lighting, heat or power in the *National Electrical Code*".
12. Section 109.6 **Refunds** shall read, "The governing authority is authorized to establish a refund policy when no work has been done under a permit issued in accordance with this code".
13. Add Section 110.3.12 **Re-inspection Fee**. "A re-inspection fee will be assessed for each inspection or re-inspection when such portion of the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees may be assessed when the approved plans are not readily available to the inspector, for failure to provide access on the date for which inspection is requested or for deviating from the plans requiring the approval of the Town of Alpine".
14. A sixth sentence shall be added to the first paragraph of Section 1608.2 **Ground Snow Loads** and shall read, "The roof snow load shall be 100 lbs. per square foot".

SECTION IV.

Stamp or Seal of Licensed Engineer Required.

All plans for structures submitted with a permit application as required under this Ordinance shall be designed by a civil or structural engineer licensed in the State of Wyoming. Such plans shall contain the stamp or seal of a civil or structural engineer licensed in the State of Wyoming.

SECTION V.

Priority of Ordinances.

In the event any of the adopted ordinances of the town as codified with any other sections of the Town of Alpine Municipal Code, the most restrictive shall apply.

SECTION VI.

Definitions.

The definitions as set forth in the International Building Code as said code is adopted in Section III of this Ordinance shall apply in interpretation of said code unless there is a discrepancy between the definitions contained in said code and definitions found in Planning and Zoning Ordinance Chapter II of the Town of Alpine Municipal Code and in that event the definitions found in Planning and Zoning Ordinance Chapter II of the Town of Alpine Municipal Code shall take precedence.

SECTION VII.

Building Permit Issuance - Compliance Required.

The Town of Alpine shall not issue a building permit for any building or temporary structure to be built within the town unless the plan submitted for such building or temporary structure complies fully with the provisions of this chapter.

SECTION VIII.

Business License - Non-Issuance for Non-Compliance.

No business license shall be issued to any business located in any building or temporary structure in which the building or temporary structure fails to comply with the provisions of this chapter. No business license shall be issued to any business located in any building or temporary structure which did not comply with the equivalent or applicable zoning or building ordinance in effect at the time of the construction or placement of such building.

SECTION IX.

Appeal to Board of Adjustments.

An appeal from the provisions of the chapter shall be made to the Board of Adjustments on a form to be furnished by the board which may be secured at the town office. Any recommendations by the Board of Adjustments for departure from the provisions of this chapter shall be subject to the approval of the Town Council.

SECTION X.

Severability.

If any provision of this Ordinance or the application thereof to any person or circumstances is held invalid or unconstitutional, the invalidity shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid provision or application and to this and the provisions of this act are severable.

SECTION XI.

Ordinances Repealed.

All ordinances and parts of ordinances in conflict with the provisions of these ordinances are hereby repealed.

SECTION XII.

Effective Date.

This Ordinance shall become effective from the date of its passage provided; however, this ordinance shall not apply to any previously approved building permits.

PASSED 1ST READING THIS 15TH DAY OF MARCH 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

PASSED 2ND READING THIS 19TH DAY OF APRIL 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

PASSED 3RD READING THIS 17TH DAY OF MAY 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

TOWN OF ALPINE

BY: _____
W. Kennis Lutz, Mayor

ATTEST:

BY: _____
Sharon L. Backus, Town Clerk/Treasurer

ATTESTATION OF THE TOWN CLERK

STATE OF WYOMING)
)
COUNTY OF LINCOLN)

I hereby certify that the forgoing **285 ORDINANCE NO. 2022-03** was duly posted for ten (10) days in the Town Clerk's Office.

I further certify that the forgoing Ordinance was duly recorded in the BOOK OF ORDINANCES VI, TOWN OF ALPINE, LINCOLN COUNTY, WYOMING.

ATTEST:

SHARON L. BACKUS, CLERK/TREASURER

287 ORDINANCE NO. 2022-05

INTERNATIONAL MECHANICAL CODE

AN ORDINANCE REPEALING 260 ORDINANCE NO. 2018-10 AND PROVIDING FOR THE ADOPTION OF THE INTERNATIONAL MECHANICAL CODE 2021 EDITION FOR THE TOWN OF ALPINE, AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF ALPINE, WYOMING IN REGULAR SESSION DULY ASSEMBLED THAT:

SECTION I.

260 Ordinance No. 2018-10 is hereby repealed in its entirety.

SECTION II.

International Mechanical Code Adoption by Reference.

All buildings and structures constructed, located or placed within the town from and after the established effective date, upon approval and passage of this Ordinance, shall be constructed or built in accordance with the requirements of the 2021 Edition of the International Mechanical Code, as promulgated by the International Code Council, and the said International Mechanical Code 2021 Edition is adopted by reference the same as if it were more fully set forth herein, except as follows:

1. **Section 101.1 Title** shall read, "These regulations shall be known as the Mechanical Code of the Town of Alpine, herein after referred to as 'this code'".
2. **Section 106.5.2 Fee schedule** shall read, "The fees for work shall be as adopted by the Town of Alpine in the Mechanical/Fuel Gas fee schedule".
3. A third sentence shall be added to **Section 107.2.3 Approval Required** and shall read, "A re-inspection fee will be assessed for each inspection or re-inspection when such portion of the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees will be assessed when the approved plans are not readily available to the inspector; for failure to provide access on the date for which inspection is requested or for deviating from the plans requiring the approval of the Building Official".
4. **Section 108.4 Violation penalties** shall read, "Any person who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter or repair plumbing or mechanical work in violation of the approved construction documents or directive of the code official, or of a permit or certificate of occupancy issued under the provisions of this code, shall, upon conviction, be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code and any amendments or revisions thereto."

5. The last sentence of **Section 108.5 Stop work orders** shall read, “Any person who shall continue any work in or about the structure after having been served with a stop work, except such work as that person is directed to perform to remove a violation or unsafe condition shall, upon conviction, be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code and any amendments or revisions thereto.”
6. A second sentence shall be added to **Section 903.3 Unvented Decorative Room Heaters** and shall read, “Unvented gas logs shall; not be installed in habitable rooms or spaces”.

SECTION III.

Priority of Ordinances.

In the event any of the adopted ordinances of the town as codified in this code as of the date of the adoption of the ordinance codified in this section conflict with any other sections of the Town of Alpine Municipal Code, the most restrictive shall apply.

SECTION IV.

Severability.

If any provisions of this Ordinance or the application thereof any person or circumstances is held invalid or unconstitutional, the invalidity shall not affect other provisions or application, and to this and the provisions of this act are severable.

SECTION V.

Ordinances Repealed.

All ordinances and parts of ordinances in conflict with provisions of this ordinance are hereby repealed.

SECTION VI.

Effective Date.

This Ordinance shall become effective from the date of its passage, however, that this Ordinance shall not apply to any previously approved building permits.

PASSED 1ST READING THIS 15TH DAY OF MARCH 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

PASSED 2ND READING THIS 19TH DAY OF APRIL 2022

Vote: ____ yes, ____ no, ____ abstain, ____ absent.

PASSED 3RD READING THIS 17TH DAY OF MAY 2022

Vote: ____ yes, ____ no, ____ abstain, ____ absent.

TOWN OF ALPINE

BY: _____
W. Kennis Lutz, Mayor

ATTEST:

BY: _____
Sharon L. Backus, Clerk/Treasurer

ATTESTATION OF THE TOWN CLERK

STATE OF WYOMING)
)
COUNTY OF LINCOLN)

I hereby certify that the forgoing **287 ORDINANCE NO. 2022-05** was duly posted for ten (10) days in the Town Clerk's Office.

I further certify that the forgoing Ordinance was duly recorded in the BOOK OF ORDINANCES VI, TOWN OF ALPINE, LINCOLN COUNTY, WYOMING.

ATTEST:

SHARON L. BACKUS, CLERK /TREASURER

289 ORDINANCE NO. 2022-07

INTERNATIONAL PLUMBING CODE

AN ORDINANCE REPEALING 262 ORDINANCE NO. 2018-12 AND PROVIDING FOR THE ADOPTION OF THE INTERNATIONAL PLUMBING CODE 2021 EDITION FOR THE TOWN OF ALPINE AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF ALPINE, WYOMING IN REGULAR SESSION DULY ASSEMBLED THAT:

SECTION I.

262 Ordinance No. 2018-12 is hereby repealed in its entirety.

SECTION II.

International Plumbing Code- Adoption by reference.

All buildings and temporary structures built, located or placed within the town from and after the established effective date, upon approval and passage of this Ordinance shall be properly plumbed in accordance with the requirements of the International Plumbing Code, 2021 Edition, as published by the International Code Council, specifically including “**Appendix D**”. The said Code is incorporated herein by reference as if the same were more fully herein set out except as follows:

1. Section 101.1 shall read. “These regulations shall be known as the International Plumbing Code of the Town of Alpine, herein after referred to as ‘this code’”.
2. Section 101.6.2 **Fee Schedule** shall read, “The fees for work shall be paid as required in the adopted Town of Alpine plumbing fee schedule”.
3. Section 108.4 **Violation penalties** shall read, “Any person who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter or repair plumbing work in violation of the approved construction documents, or directive of the code official, or of a permit or certificate of occupancy issued under the provisions of this code, shall, upon conviction, be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code and any amendments or revisions thereto”.
4. The last sentence of Section 108.5 **Stop work orders** shall read, “Any person who shall continue any work in or about the structure after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition shall, upon conviction, be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code and any amendments or revisions thereto”.

5. The last sentence of Section 305.4 **Freezing** shall read, "Exterior water supply system piping shall be installed not less than 6 feet below grade".
6. Section 305.4.1 **Sewer depth** shall read, "Building sewers shall be a minimum of 48 inches below grade or shall be protected from freezing in an approved manner by the administrative authority".

SECTION III.

Priority of Ordinances.

In the event any if the adopted ordinances of the town as codified in this code as of the date of the adoption of the ordinance codified in this section conflict with any sections of the Town of Alpine Municipal Code, the most restrictive shall apply.

SECTION IV.

Severability.

If any provision of this Ordinance or the application thereof to any person or circumstances is held invalid or unconstitutional, the invalidity shall not affect other provisions of application of this Ordinance which can be given affect without the invalid provision or application, and to this and the provisions of this act are severable.

SECTION V.

Ordinances Repealed.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION VI.

Effective Date.

This Ordinance shall become effective from the date of its passage provided; however, that this ordinance shall not apply to any previously approved building permits.

PASSED 1ST READING THIS 15TH DAY OF MARCH 2022.

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

PASSED 2ND READING THIS 19TH DAY OF APRIL 2022.

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

PASSED 3RD READING THIS 17TH DAY OF MAY 2022.

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

TOWN OF ALPINE

BY: _____
W. Kennis Lutz, Mayor

ATTEST:

BY: _____
Sharon L, Backus, Town Clerk/Treasurer

ATTESTATION OF THE TOWN CLERK

STATE OF WYOMING)
COUNTY OF LINCOLN)
TOWN OF ALPINE)

I hereby certify that the forgoing 289 Ordinance No. 2022-07 was duly posted for ten (10) days in the Town Clerk's Office.

I further certify that the forgoing Ordinance was duly recorded in the BOOK OF ORDINANCES VI, TOWN OF ALPINE, LINCOLN COUNTY, WYOMING.

ATTEST:

SHARON L. BACKUS, TOWN CLERK/TREASURER

290 ORDINANCE NO. 2022-08

INTERNATIONAL FIRE CODE

AN ORDINANCE REPEALING 263 ORDINANCE NO. 2018-13 AND PROVIDING FOR THE ADOPTION OF THE INTERNATIONAL FIRE CODE 2021 EDITION FOR THE TOWN OF ALPINE AND PROVIDING FOR THE EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF ALPINE, WYOMING IN REGULAR SESSION DULY ASSEMBLED THAT:

SECTION I.

263 Ordinance No. 2018-13 is hereby repealed in its entirety.

SECTION II.

There is hereby adopted by the Town Council of the Town of Alpine, for the purpose of prescribing regulations governing conditions hazardous to life and property from fire, hazardous materials or explosion, that certain Code and Standards known as the International Fire Code ("IFC") 2021 Edition ("IFC"), including Appendices B, C, D, E, F, and G, published by the International Code Council, hereby establishing an effect date upon approval and passage of this ordinance. The International Fire Code is hereby incorporated by reference as if the same were more fully set out herein.

SECTION III.

Priority of ordinances.

In the event any of the adopted ordinances of the town as codified in this code as of the date of the adoption of the ordinance codified in this section conflict with any other sections of the Town of Alpine Municipal Code, the most restrictive shall apply.

SECTION IV.

Severability.

If any provision of this Ordinance or the application thereof any person or circumstances is held invalid or unconstitutional, the invalidity shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid provisions or applications, and to this and the provisions of this act are severable.

SECTION V.

Ordinances Repealed.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION VI.

Effective Date.

This Ordinance shall become effective from the date of its passage.

PASSED 1ST READING THIS 15TH DAY OF MARCH 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

PASSED 2ND READING THIS 19TH DAY OF APRIL 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

PASSED 3RD READING THIS 17TH DAY OF MAY 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

ATTEST:

BY: _____
Sharon L. Backus, Clerk/Treasurer

TOWN OF ALPINE

BY: _____
W. Kennis Lutz, Mayor

ATTESTATION OF THE TOWN CLERK

STATE OF WYOMING)
)
COUNTY OF LINCOLN)

I hereby certify that the forgoing **290 ORDINANCE NO. 2022-08** was duly posted for ten (10) days in the Town Clerk's Office.

I further certify that the forgoing Ordinance was duly recorded in the BOOK OF ORDINANCES VI, TOWN OF ALPINE, LINCOLN COUNTY, WYOMING.

ATTEST:

SHARON L. BACKUS, CLERK/TREASURER

286 ORDINANCE No. 2022-04

INTERNATIONAL RESIDENTIAL CODE

AN ORDINANCE REPEALING 277 ORDINANCE NO. 2020-06 AND PROVIDING FOR THE ADOPTION OF THE INTERNATIONAL RESIDENTIAL CODE 2021 EDITION FOR THE TOWN OF ALPINE, AND PROVIDING FOR THE EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF ALPINE, WYOMING IN REGULAR SESSION DULY ASSEMBLED THAT:

SECTION I.

277 Ordinance No. 2020-06 is hereby repealed in its entirety.

SECTION II.

All detached one- and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with separate means of egress built or located within the town from and after the established effective date upon approval and passage of this Ordinance shall be constructed in accordance with the requirements of the International Residential Code, 2021 Edition, as published by the International Code Council, specifically **including Appendix F (Radon)**. The International Residential Code (IRC) 2021 Edition is hereby adopted and incorporated herein by reference, with the exception of the following amendments:

1. **Section R102.7 Existing structures.** The first sentence shall read “The legal occupancy of any structure existing on the date of adoption of this code shall be permitted to continue without change, except as is specifically covered in this code, the International Property Maintenance Code or the International Fire Code, or as is deemed necessary by the building official for the general safety and welfare of the occupants and the public”.
2. **Section R105.2 Work exempt from permit** shall be amended by deleting numbers 1, 2 and 10.
3. **Section 105.3.2 Time limitation of application** shall be deleted in its entirety.
4. **Section 105.5 Expiration** shall be deleted in its entirety.
5. **Section 108.2 Schedule of permit fees shall be revised to read**, “On buildings, structures, electrical, gas, mechanical and plumbing systems or alterations requiring a permit, a fee for each permit shall be paid as set forth in the adopted Town of Alpine permit fee schedule.”
6. **Section R113.4 Violation penalties** shall be revised to read, “Any person who violates a provision of this code or fails to comply with any of the requirements thereof or who erects, constructs, alters or repairs a building or structure in violation of the approved construction documents or directive of the building official, or of a permit or certificate issued under the provisions of this code, shall be subject to penalties as provided in 111

Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto.”

7. **Section R114.2 Unlawful continuance** shall read “Any person who shall continue any work in or about the structure after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition shall upon conviction be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto.”
8. The first sentence in **Section 301.1.3 Engineered design** shall be revised to read, “All residential structures shall be designed by a civil or structural engineer licensed in the State of Wyoming”.
9. **Table R302.13. Fire Protection of Floors Exceptions Sub-Section 2 shall be revised to read** “Floor assemblies located directly over a crawl space not intended for storage or for the installation of electric-powered heating appliances.”
10. **Table R302.6 Dwelling/Garage Separation, Under Material Heading shall be revised to read all materials to be 5/8-inch Type X gypsum board.**
11. **Section R313 Automatic Sprinkler Systems** shall be deleted in its entirety.
12. **Sections 403.3** shall be replaced with the sentence reading, “Front protected shallow foundations are prohibited”.
13. **Section N1102.4 Air Leakage**, shall be deleted in its entirety.
14. **Section N1102.4.1.2 Testing**, shall be deleted in its entirety.
15. **Section N1103.3.5 (R403.3.5) Duct Testing**, shall be deleted in its entirety.
16. The first sentence of **Section N1102.2.10** shall be changed to read, “Where the floor above the crawl space is un-insulated, insulation shall be installed on the crawl space walls and a Class I vapor retarder be installed according to this code”.
17. **Section G2406.2 (303.3) Prohibited locations.** Delete **Exceptions .3 and .4** in their entirety.
18. **Section G2445.2 (621.2) Prohibited Use** shall read, “Unvented room heaters shall not be installed in habitable rooms or spaces”.
19. A second sentence shall be added to **section G2445.7 Unvented Decorative Room Heaters** and shall read, “Unvented decorative room heaters shall not be installed in habitable rooms or spaces”.
20. **Section P2603.5.1 Sewer depth** shall be amended to read, “Building sewers shall be a minimum of 48 inches below grade or shall be protected from freezing in an approved manner by the administrative authority”.
21. **AF104 Testing**, shall be deleted in its entirety.

SECTION III.

Priority of ordinances.

In the event any of the adopted ordinances of the town as codified in this code as of the date of the adoption of the ordinance codified in this section conflict with any other sections of the Town of Alpine Municipal Code, the most restrictive shall apply.

SECTION IV.

Severability.

If any provision of this Ordinance or the application thereof any person or circumstances is held invalid or unconstitutional, the invalidity shall not affect other provisions or applications of this Ordinance which can be given affect without the invalid provisions or applications, and to this and the provisions of this act are severable.

SECTION V.

Ordinances Repealed.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION VI.

Effective Date.

This Ordinance shall become effective from the date of its passage, however, that this ordinance shall not apply to any previously approved building permits.

PASSED 1ST READING THIS 15TH DAY OF MARCH 2022.

Vote: ____ yes, ____ no, ____ abstain, ____ absent.

PASSED 2ND READING THIS 19TH DAY OF APRIL 2022.

Vote: ____ yes, ____ no, ____ abstain, ____ absent.

PASSED ON 3RD READING THIS 17TH DAY OF MAY 2022

Vote: ____ yes, ____ no, ____ abstain, ____ absent.

TOWN OF ALPINE

By: _____
W. Kennis Lutz, Mayor

Attest:

By: _____
Sharon L. Backus, Town Clerk

ATTESTATION OF THE TOWN CLARK

STATE OF WYOMING)
COUNTY OF LINCOLN)
TOWN OF ALPINE)

I hereby certify that the forgoing 286 Ordinance No. 2022-04 was duly posted for ten (10) days in the Town Clerk's Office.

I further certify that the forgoing Ordinance was duly recorded in the BOOK OF ORDINANCES VI, TOWN OF ALPINE, LINCOLN COUNTY, WYOMING.

ATTEST:

SHARON L. BACKUS, TOWN CLERK

288 ORDINANCE NO. 2022-06

INTERNATIONAL FUEL GAS CODE

AN ORDINANCE REPEALING 261 ORDINANCE NO. 2018-11 AND PROVIDING FOR THE ADOPTION OF THE INTERNATIONAL FUEL GAS CODE 2021 EDITION FOR THE TOWN OF ALPINE, AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF ALPINE, WYOMING IN REGULAR SESSION DULY ASSEMBLED THAT:

SECTION I.

261 Ordinance No. 2018-11 is hereby repealed in its entirety.

SECTION II.

International Fuel Gas Code - Adoption by reference.

All buildings and structures constructed, located or placed within the town from and after the established effective date, upon approval and passage of this Ordinance, shall be constructed or built in accordance with the requirements of the 2021 Edition of the International Fuel Code (IFGC), as promulgated by the International Code Council, and the said International Fuel Gas Code is adopted by reference the same if it were fully set forth herein, except as follows:

1. Section 101.1 **Title** shall read, "These regulations shall be known as the Fuel Gas Code of the Town of Alpine, hereinafter referred to as 'this code'".
2. Section 106.6.2 **Fee Schedule** shall read, "The fees for work shall be indicated in the adopted Town of Alpine Mechanical/Plumbing permit schedule".
3. A third sentence shall be added to Section 107.3.3 **Re-inspection and testing** and shall read, "A re-inspection fee will be assessed for each inspection or re-inspection when such portion or the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees may be assessed when the approved plans are not readily available to the inspector, for failure to provide access on the date for which inspection is requested or for deviating from the plans requiring the approval of the Town of Alpine".
4. Section 108.4 **Violation Penalties** shall read, "Any person who violates a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter or repair plumbing or mechanical work in violation of the approved construction documents or directive of the code official, or of a permit or certificate of occupancy issued under the provisions of this code, shall, upon conviction, be punished as provided in 111-Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto."

5. The last sentence of Section 108.5 **Stop work orders** shall read, "Any person who shall continue any work in or about the structure after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition shall, upon conviction, be punished as provided in 111-Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto".
6. Section 303.3 **Prohibited Locations** Exception number 3 and 4 shall be deleted.
7. **Unvented Decorative Room Heaters.** "Unvented Decorative Room Heaters shall not be installed in habitable spaces".

SECTION III.

Priority of ordinances.

In the event any of the adopted ordinances of the town as codified in this code as of the date of the adoption of the ordinance codified in this section conflict with any other sections of the Town of Alpine Municipal Code, the most restrictive shall apply.

SECTION IV.

Severability.

If any provisions of this Ordinance or the application thereof any person or circumstances is held invalid or unconstitutional, the invalidity shall not affect other provisions or application, and to this and the provisions of this act are severable.

SECTION V.

Ordinances Repealed.

All ordinances and parts of ordinances in conflict with provisions of this ordinance are hereby repealed.

SECTION VI.

Effective Date.

This Ordinance shall become effective from the date of its passage.

PASSED 1ST READING THIS 15TH DAY OF MARCH 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

.

PASSED 2ND READING THIS 19TH DAY OF APRIL 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

PASSED 3RD READING THIS 17TH DAY OF MAY 2022

Vote: ___ yes, ___ no, ___ abstain, ___ absent.

TOWN OF ALPINE

BY: _____
W. Kennis Lutz, Mayor

ATTEST:

BY: _____
Sharon L. Backus, Town Clerk

ATTESTATION OF THE TOWN CLERK

STATE OF WYOMING)
COUNTY OF LINCOLN)
TOWN OF ALPINE)

I hereby certify that the forgoing **288 ORDINANCE NO. 2022-06** was duly posted for ten (10) days in the Town Clerk's Office.

I further certify that the forgoing Ordinance was duly recorded in the BOOK OF ORDINANCES VI, TOWN OF ALPINE, LINCOLN COUNTY, WYOMING.

ATTEST:

SHARON L. BACKUS, TOWN CLERK/TREASURER

TOWN OF ALPINE- BUILDING CODES

Ordinance No. 2025-xxx

Table of Contents

PART 1 INTERNATIONAL CODE COUNCIL CODES

1. General

Provisions.....1

1

1.1 Intent

.....1

1.2 Scope

.....1

1.3 Potential Conflicts in Definitions

.....1

1.4 Exemptions to Adopted Building Codes

.....1

2. International Building Code (IBC)

.....1

2.1 Applicability

.....1

2.2 Implementation and exemptions

.....1

3. International Residential Code (IRC)

.....6

3.1 Applicability

.....6

3.2 Implementation and exemptions

.....6

4. International Plumbing Code (IPC)

.....10

4.1 Applicability

.....11

4.2 Implementation and exemptions

.....11

5. International Mechanical Code (IMC)

.....13

5.1 Applicability

.....13

TOWN OF ALPINE- BUILDING CODES

.....	13
5.2 Implementation and exemptions	
.....	13
6. International Fire Code (IFC)	
.....	17
6.1 Applicability	
.....	17
6.2 Implementation and exemptions	
.....	17
7. International Fuel Gas Code (IFGC)	
.....	17
7.1 Applicability	
.....	17
7.2 Implementation and exemptions	
.....	18
8. Grace Period for Building Design Phase and Applications	
.....	21
9. Violations, Penalties, and Remedies	
.....	21
9.1 Unlawful to Violate Ordinance	
.....	22
9.2 Continuing Violations and Penalties	
.....	22
9.3 Town Enforce through Appropriate Civil Remedy	
.....	22
9.4 Actions for Penalties or Fines	
.....	22
9.5 Applicability of “Wyoming Administrative Procedure Act”	
.....	22
9.6 Ordinance Enforceable in Addition to Other Remedies	
.....	22



**TOWN OF ALPINE, WYOMING
ORDINANCE NO. 2025-xxx**

**AN ORDINANCE XXX ORDINANCE NO. AND PROVIDING FOR THE ADOPTION
OF THE TOWN OF ALPINE- INTERNATIONAL CODE COUNCIL CODES FOR THE
TOWN OF ALPINE, WYOMING**

WHEREAS, the International Code Council (ICC) is a leading organization that develops model codes and standards used in the design, construction, and compliance process of buildings and structures; and

WHEREAS, the Town of Alpine, Wyoming, has reviewed and determined that it is in the best interest of the public to adopt the most recent versions of the ICC International Building Code (IBC), International Residential Code (IRC), International Plumbing Code (IPC), International Mechanical Code (IMC), International Fire Code, and International Fuel and Gas Code (IFGC) currently adopted by the State of Wyoming.

WHEREAS, the adoption of the ICC International Codes help ensure safe, affordable, and sustainable communities and buildings and structures which are constructed in the Town of Alpine; and

**NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE
TOWN OF ALPINE, WYOMING:**

Section 1. The following Ordinances are repealed in their entirety

- i) 285 Ordinance No.2022-03
- ii) 286 Ordinance No. 2022-04
- iii) 287 Ordinance No. 2022-05
- iv) 288 Ordinance No. 2022-06
- v) 289 Ordinance No. 2022-07
- vi) 290 Ordinance No.2022-08

**Section 2. ADOPTION OF THE FOLLOWING MOST RECENT INTERNATIONAL
CODE COUNCIL CODES IN USE BY THE STATE OF WYOMING**

Section 4. EFFECTIVE DATE: This ordinance shall take effect upon final passage and approval as required by law. This ordinance shall not apply to any previously approved building permits.

Section 5. PRIORITY OF ORDINANCES

In the event any of the adopted ordinances of the town, as codified in this code as of the date of the adoption of the ordinance codified in this section, conflict with any other sections of the Town of Alpine Municipal Code, the most restrictive shall apply.

Section 6. SEVERABILITY

If any provision of this Ordinance or the application thereof any person or circumstances is held invalid or unconstitutional, the invalidity shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid provisions or applications, and to this and the provisions of this act are severable.

Section 7. ORDINANCES REPEALED

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Passed First Reading this day of 2025

VOTE: ☐ YES, ☐ NO, ☐ ABSTAIN, ☐ ABSENT

Passed Second Reading Day of 2025

VOTE: ☐ YES, ☐ NO, ☐ ABSTAIN, ☐ ABSENT

Passed on Third and Final Reading Day of 2025

VOTE: ☐ YES, ☐ NO, ☐ ABSTAIN, ☐ ABSENT

TOWN OF ALPINE

BY: _____
Eric Green

ATTEST:

BY: _____
Monica Chenault, Clerk

ATTESTATION OF THE TOWN CLERK

STATE OF WYOMING)
)
COUNTY OF LINCOLN)

I hereby certify that the forgoing **ORDINANCE NO. 2025-xxx** was duly posted for ten (10) days in the Town Clerk’s Office.

ATTEST:

Monica Chenault, Clerk

DRAFT

TOWN OF ALPINE- BUILDING CODE

INTERNATIONAL CODE COUNCIL CODES

1. GENERAL PROVISIONS

- 1.1 INTENT: The International Code Council (ICC) is a leading organization that develops model codes and standards used in the design, construction, and compliance process of buildings and structures. The Town of Alpine, Wyoming, has reviewed and determined that it is in the best interest of the public to adopt the most recent versions of the ICC International Building Code (IBC), International Residential Code (IRC), International Plumbing Code (IPC), International Mechanical Code (IMC), International Fire Code (IFC), and International Fuel Gas Code (IFGC), as currently adopted by the State of Wyoming.
- 1.2 SCOPE: These codes, along with the Town of Alpine's Land Use Development Code (LUDC), help ensure that buildings and structures constructed in the Town of Alpine are safe, affordable, and sustainable.
- 1.3 POTENTIAL CONFLICTS IN DEFINITIONS: The definitions contained in the International Building Code shall apply in the interpretation of the International Building Code unless there is a discrepancy between the definitions contained in the International Building Code and the definitions contained in the Alpine Land Use and Development Code. In this case, the definitions contained in the Alpine Land Use and Development Code shall take precedence.
- 1.4 EXEMPTIONS TO ADOPTED BUILDING CODES: The following codes will be adopted by reference, except for the amendments listed in each Code.

2 INTERNATIONAL BUILDING CODE (IBC)

- 2.1 APPLICABILITY: All buildings and temporary structures built, located or placed within the town from and after the established effective date, upon approval and passage of this Ordinance, shall be properly built in accordance with the requirements of the International Building Code (IBC), Edition currently in use by the state of Wyoming, as published by the International Code Council. The said Code is incorporated herein by reference as if the same were more fully here in set out here, except as follows:
- 2.2 IMPLEMENTATION: The International Building Code is hereby adopted and incorporated herein by reference, except for the following amendments:
- 2.2.1 Section 101.1: Title. Shall read these regulations shall be known as the Building Code of the Town of Alpine, hereinafter referred to as "this code."

- 2.2.2 The last sentence of Section 101.4.3 Plumbing. Shall read, “*The provisions of the Wyoming Department of Environmental Quality* shall apply to private sewage disposal systems.”
- 2.2.3 Section 101.4.4: Property Maintenance. shall be deleted in its entirety.
- 2.2.4 Add Section 101.4.8: Electrical. Shall read, “The provisions of the *National Electrical Code* shall apply to the installation of electrical systems, including alterations, repairs, replacement equipment, appliances, fixtures, fittings, and appurtenances thereto”.
- 2.2.5 Section 102.1: General shall have a second sentence added which shall read, “Substitute the *National Electrical Code* for all references to the *ICC Electrical Code* throughout the IBC”.
- 2.2.6 Section 103.1: Creation of enforcement agency. Shall read “The Town of Alpine Planning and Zoning Department and the official in charge thereof shall be known as the Planning and Zoning Administrator. The function of the agency shall be the implementation, administration, and enforcement of the provisions of this code.”
- 2.2.7 Section 103.2: Appointment. Shall read “The Planning and Zoning Administrator shall be appointed by the chief appointing authority of the jurisdiction.”
- 2.2.8 Section 103.3: Deputies. Shall ~~be amended by deleting the last sentence.~~ read “In accordance with the prescribed procedures of the jurisdiction and with the concurrence of the appointing authority, the chief appointing authority of the jurisdiction shall have the authority to ap point a building official, other related technical officers, inspectors, and other employees. Such employees shall have powers delegated by the chief appointing authority of the jurisdiction.”
- 2.2.9 Section 104.3: Applications and permits. Shall read “The Planning and Zoning Administrator shall receive applications. The Building Official shall review construction documents. The Planning and Zoning

Commission shall review site plans. The Design Review Committee shall review construction documents and design for compliance with the current adopted Design Review Standards . The Town Clerk shall issue permits upon approval when presented with a complete application b y the Planning and Zoning Administrator, approval of construction documents by the Building Official, approval of the site plan by the Planning and Zoning Commission, and approval of the building design by the Design Review Committee if applicable.

- 2.2.10 Section 104.7: Planning and Zoning Administrator shall replace building official.
- 2.2.11 Section 104.7.1: Approvals. Planning and Zoning Administrator shall replace building official.
- 2.2.12 Section 104.7.5: Fees. Planning and Zoning Administrator shall replace building official.
- 2.2.13 Section 105.1: Required. The Town of Alpine shall replace building official.
- 2.2.14 Section 105.2: Work exempt from permit. Delete #1 and #2. Item #11 shall read, “Swings and other playground equipment”.
- 2.2.15 Section 105.2.1: Emergency repairs. The Planning and Zoning Administrator shall replace the building official.
- 2.2.16 Section 105.3: Application for permit. Department of Building Safety shall be replaced with the Town of Alpine.
- 2.2.17 Section 105.3: Application for permit. 7. Planning and Zoning Administrator shall replace the building official.
- 2.2.18 Section 105.3.1: Action on application. Shall in the first sentence, the Planning and Zoning Administrator replace Building Official. The last sentence shall read If the Building Official is satisfied that the proposed work conforms to the requirements of this code and laws and ordinances applicable thereto, the Town Clerk shall issue a permit therefor as soon as practicable.

- 2.2.19 Section 105.3.2: Time limitation of application. Shall be deleted in its entirety.
- 2.2.20 Section 105.5: Expiration. Shall be deleted in its entirety.
- 2.2.21 Section 105.5: Expiration. The last sentence shall be revised to read, "~~The Town of Alpine~~ The governing authority is authorized to grant in writing one extension of time for a period of not more than one (1) year.
- 2.2.22 Section 107.1: General. Construction documents, special inspection and structural observation programs, and other data shall be submitted in ~~three~~ two paper sets and one digital set with each application for a permit. The construction documents shall be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed. Where special conditions exist, the Planning and Zoning Commission is authorized to require additional construction documents to be prepared by a registered design professional.
- 2.2.23 Section 108.3: Temporary ~~Power~~. Service utilities. The last sentence shall read, "The part covered by the temporary certificate shall comply with the requirements specified for temporary lighting, heat, or power in the *National Electrical Code*."
- 2.2.24 Section R109.2: Schedule of permit fees shall be revised to read, "On buildings, structures, electrical, gas, mechanical, and plumbing systems or alterations requiring a permit, a fee for each permit shall be paid as set forth in the adopted Town of Alpine permit fee schedule."
- 2.2.25 Section 109.3: Permit valuations. The last sentence: The governing authority shall replace the building official.
- 2.2.26 Section 109.4: Work commencing before permit issuance. The governing authority shall replace the building official.

- 2.2.27 Section 109.6: Refunds shall read, “The governing authority is authorized to establish a refund policy when no work has been done under a permit issued in accordance with this code”.
- 2.2.28 Add Section 110.3.12.1: Re-inspection Fee. “A re-inspection fee will be assessed for each inspection or re-inspection when such portion of the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees may be assessed when the approved plans are not readily available to the inspector, for failure to provide access on the date for which inspection is requested or for deviating from the plans requiring the approval of the Town of Alpine.”
- 2.2.29 Section 115 .4: Failure to comply shall read “Any person who shall continue any work in or about the structure after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition shall upon conviction be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto.”
- 2.2.30 Section 116.3: Notice. “Or Planning and Zoning Administrator” shall be added after the building official.
- 2.2.31 Section 1608.2: Ground Snow Loads. A sixth sentence shall be added to the first paragraph and shall read, “The ground snow load shall be one hundred forty-three (143) pounds per square foot, and the roof snow load shall be one hundred (100) ~~lbs.~~ pounds per square foot.”

3. INTERNATIONAL RESIDENTIAL CODE (IRC)

- 3.1 APPLICABILITY: All detached one- and two-family dwellings and multiple single-family dwellings (townhouses) not more than three stories in height with separate means of egress built or located within the town from and after the established effective date upon approval and passage of this Ordinance shall be constructed in accordance with the requirements of International Residential Code (IRC), Edition

Town of Alpine- Building Code
Adopted- xx/xx/xxxx Ordinance 2025-xx

currently in use by the state of Wyoming, as published by the International Code Council, specifically including Appendix BE (Radon Control Methods).

3.2 IMPLEMENTATION: The International Residential Code is hereby adopted and incorporated herein by reference, except for the following amendments:

- 3.2.1 Section R101.1: Title. Shall read these provisions shall be known as the Residential Code for One-and Two-family Dwellings of the Town of Alpine, hereinafter referred to as “this code.”
- 3.2.2 Section R103.1: Creation of agency. Shall read “The Town of Alpine Planning and Zoning Department and the official in charge thereof shall be known as the Planning and Zoning Administrator. The function of the agency shall be the implementation, administration, and enforcement of the provisions of this code.”
- 3.2.3 Section R103.2: Appointment. Shall read “The Planning and Zoning Administrator shall be appointed by the chief appointing authority of the jurisdiction.”
- 3.2.4 Section R103.3: Deputies. Shall read “In accordance with the prescribed procedures of the jurisdiction and with the concurrence of the appointing authority, the chief appointing authority of the jurisdiction shall have the authority to appoint a building official, other related technical officers, inspectors, and other employees. Such employees shall have powers delegated by the chief appointing authority of the jurisdiction.”
- 3.2.5 Section R104.3: Applications and permits. Shall read “The Planning and Zoning Administrator shall receive applications. The Building Official shall review construction documents. The Planning and Zoning Commission shall review site plans. The Design Review Committee shall review construction documents and design for compliance with the current adopted Design Review Standards. The Town Clerk shall issue permits upon approval when presented with a complete application by the Planning and Zoning Administrator, approval of construction

Town of Alpine- Building Code
Adopted- xx/xx/xxxx Ordinance 2025-xx

- documents by the Building Official, approval of the site plan by the Planning and Zoning Commission, and approval of the building design by the Design Review Committee if applicable.
- 3.2.6 Section R104.7: Official records. The Planning and Zoning Administrator shall replace the building official.
 - 3.2.7 Section R104.7.1: Approvals. The Planning and Zoning Administrator shall replace the building official.
 - 3.2.8 Section R104.7.5: Fees. The Planning and Zoning Administrator shall replace the building official.
 - 3.2.9 Section R105.1: Required. The Town of Alpine shall replace the building official.
 - 3.2.10 Section R105.2: Work exempt from permit shall be amended by deleting ~~numbers~~ #1, #2, and #10.
 - 3.2.11 Section R105.2.1: Emergency repairs. The Planning and Zoning Administrator shall replace the building official.
 - 3.2.12 Section R105.3: Application for permit. Department of Building Safety shall be replaced with the Town of Alpine.
 - 3.2.13 Section R105.3: Application for permit. 7. Planning and Zoning Administrator shall replace the building official.
 - 3.2.14 Section R105.3.2: The Time limitation of application. Shall be deleted in its entirety.
 - 3.2.15 Section R105.5: Expiration. Shall be deleted in its entirety.
 - 3.2.16 Section R106.1.: Submittal documents. Shall read “Construction documents, special inspection and structural observation programs, and other data shall be submitted in two paper sets and one digital set with each application for a permit. The construction documents shall be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed. Where special conditions exist, the Planning and Zoning Commission is authorized to require additional construction documents to be prepared by a registered design professional.”

- 3.2.17 Section 107.3: Temporary Power. The last sentence shall read, “The part covered by the temporary certificate shall comply with the requirements specified for temporary lighting, heat, or power in the *National Electrical Code*.”
- 3.2.18 Section R108.2: Schedule of permit fees shall be revised to read, “On buildings, structures, electrical, gas, mechanical, and plumbing systems or alterations requiring a permit, a fee for each permit shall be paid as set forth in the adopted Town of Alpine permit fee schedule.”
- 3.2.19 Section R108.5: Refunds. Shall read, “The governing authority is authorized to establish a refund policy when no work has been done under a permit issued in accordance with this code”.
- 3.2.20 Section R108.6: Work commencing before permit issuance. The governing authority shall replace the Building Official.
- 3.2.21 Add Section R109.3.1: Re-inspection Fee. “A re-inspection fee will be assessed for each inspection or re-inspection when such portion of the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees may be assessed when the approved plans are not readily available to the inspector, for failure to provide access on the date for which inspection is requested, or for deviating from the plans requiring the approval of the Town of Alpine.”
- 3.2.22 Section 113.2: Notice of violation. “or the Planning and Zoning Administrator shall be added after the building official.”
- 3.2.23 Section R113.4: Violation penalties shall be revised to read, “Any person who violates a provision of this code or fails to comply with any of the requirements thereof or who erects, constructs, alters or repairs a building or structure in violation of the approved construction documents or directive of the building official, or of a permit or certificate issued under the provisions of this code, shall be subject to penalties

as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto.”

- 3.2.24 Section R114.2.4: ~~Unlawful continuance~~ **Failure to comply**. Shall read “Any person who shall continue any work in or about the structure after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition shall upon conviction be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions there.
- 3.2.25 The first sentence in Section R301.1.3: Engineered design shall be revised to read, “All residential structures shall be designed by a civil or structural engineer licensed in the State of Wyoming”.
- 3.2.26 **Section R301.2.3: Snow Loads. A fourth sentence shall be added to the first paragraph and shall read, “The ground snow load shall be one hundred forty-three (143) pounds per square foot and the roof snow load shall be one hundred (100) pounds per square foot.”**
- 3.2.27 Table R302.13: Fire Protection of Floors Exceptions Sub-Section 2 shall be revised to read “Floor assemblies located directly over a crawl space not intended for storage or for the installation of electric-powered heating appliances.”
- 3.2.28 Table R302.6; Dwelling/Garage Separation. Under Material Heading, shall be revised to read “all materials to be 5/8-inch Type X gypsum board.”
- 3.2.29 Section R313: Automatic Sprinkler Systems shall be deleted in its entirety.
- 3.2.30 Section R403.3: Frost protection. Shall be replaced with the sentence reading, “Front-protected shallow foundations are prohibited”.
- 3.2.31 Section N1102.2.11: Crawl Space Wall. The first sentence shall be changed to read, “Where the floor above the crawl space is uninsulated, insulation shall be installed on the crawl space walls and a Class I

vapor retarder shall be installed according to this code”.

3.2.32 Section N1102.4-5: Air Leakage. Shall be deleted in its entirety.

3.2.33 Section N1102.4-5.1.2: Air Leakage Testing. Shall be deleted in its entirety.

3.2.34 Section N1103.3.5-7 : Duct **System** Testing. Shall be deleted in its entirety.

3.2.35 Section G2406.2: Prohibited Locations. Delete Exceptions #3 and #4 in their entirety.

3.2.36 Section G2445.2: Prohibited Use. Shall read, “Unvented room heaters shall not be installed in habitable rooms or spaces.”

3.2.37 A second sentence shall be added to section G2445.7: Unvented Decorative Room Heaters and shall read, “Unvented decorative room heaters shall not be installed in habitable rooms or spaces”.

3.2.38 Section P2603.5.1 Sewer Depth shall be amended to read, “Building sewers shall be a minimum of 48 inches below grade or shall be protected from freezing in an approved manner by the administrative authority”.

3.2.39 ~~AF104~~ **BE104.1**: Testing. Shall be deleted in its entirety.

4. INTERNATIONAL PLUMBING CODE (IPC)

4.1 APPLICABILITY: All buildings and temporary structures built, located or placed within the town from and after the established effective date, upon approval and passage of this Ordinance shall be properly plumbed in accordance with the requirements of the International Plumbing Code (IPC), Edition currently in use by the state of Wyoming, as published by the International Code Council, specifically including “Appendix D”. The said Code is incorporated herein by reference as if the same were more fully herein set out except as follows:

4.2 IMPLEMENTATION: The International Plumbing Code is hereby adopted and incorporated herein by reference, except for the following amendments:

4.2.1 Section 101.1 **Title**. Shall read. “These regulations shall be known as the International Plumbing Code of

the Town of Alpine, herein after referred to as ‘this code’”.

- 4.2.2 Add Section 101.1.1 Building Official. Building Official shall replace code official throughout this code unless otherwise specified below.
- 4.2.3 Section 103.1: Creation of agency. Shall read “The Town of Alpine Planning and Zoning Department and the official in charge thereof shall be known as the Planning and Zoning Administrator. The function of the agency shall be the implementation, administration, and enforcement of the provisions of this code unless otherwise specified in the amendments below.”
- 4.2.4 Section 103.2: Appointment. Shall read “The Planning and Zoning Administrator shall be appointed by the chief appointing authority of the jurisdiction.”
- 4.2.5 Section 103.3: Deputies. Shall read “In accordance with the prescribed procedures of the jurisdiction and with the concurrence of the appointing authority, the chief appointing authority of the jurisdiction shall have the authority to appoint a building official, other related technical officers, inspectors, and other employees. Such employees shall have powers delegated by the chief appointing authority of the jurisdiction.”
- 4.2.6 Section 104.3: Applications and permits. Shall read “The Planning and Zoning Administrator shall receive applications. The Building Official shall review construction documents. The Planning and Zoning Commission shall review site plans. The Design Review Committee shall review construction documents and design for compliance with the current adopted Design Review Standards. The Town Clerk shall issue permits upon approval when presented with a complete application by the planning and zoning administrator, approval of construction documents by the Building Official, approval of the site plan by the Planning and Zoning Commission, and approval of the building design by the Design Review Committee if applicable.

- 4.2.7 Section 104.7: Planning and Zoning Administrator shall replace code official.
- 4.2.8 Section 104.7.1: Approvals. Planning and Zoning Administrator shall replace code official.
- 4.2.9 Section 104.7.5: Fees. Planning and Zoning Administrator shall replace code official.
- 4.2.10 Section 105.1: Where required. The Town of Alpine shall replace code official.
- 4.2.11 Section 105.3: Application for permit. Planning and Zoning Administrator shall replace code official.
- 4.2.12 Section 105.5.3: Expiration. Shall be deleted in its entirety.
- 4.2.13 Section 106.1: Construction documents. The first sentence shall read, "Construction documents, engineering calculations, diagrams, and other data shall be submitted in two paper sets, and one digital set, with each permit application."
- 4.2.14 Add Section 111.2.1: Re-inspection Fee. "A re-inspection fee will be assessed for each inspection or re-inspection when such portion of the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees may be assessed when the approved plans are not readily available to the inspector, for failure to provide access on the date for which inspection is requested, or for deviating from the plans requiring the approval of the Town of Alpine."
- 4.2.15 Section 114.2: Notice of violation. Or Planning and Zoning Administrator shall be added after Building Official.
- 4.2.16 Section ~~108.4~~ 114.4 Violation Penalties. Shall read, "Any person who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter or repair plumbing work in violation of the approved construction documents, or directive of the code official, or a permit or certificate of occupancy issued under the provisions of this code, shall, upon conviction, be punished as provided in 111 Ordinance

Town of Alpine- Building Code
Adopted- xx/xx/xxxx Ordinance 2025-xx

No. 2005-01 of the Town of Alpine Municipal Code and any amendments or revisions thereto”.

- 4.2.17 ~~The last sentence of~~ Section ~~108.5~~ 115.4 ~~Failure to Comply. The last sentence~~ ~~Stop work orders.~~ shall read, “Any person who shall continue any work in or about the structure after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition shall, upon conviction, be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code and any amendments or revisions thereto”.
- 4.2.18 The last sentence of Section 305.4 Freezing. Shall read, “Exterior water supply system piping shall be installed not less than 6 feet below grade”.
- 4.2.19 Section 305.4.1 Sewer depth. Shall read, “Building sewers shall be a minimum of 48 inches below grade or shall be protected from freezing in an approved manner by the administrative authority”.

5. INTERNATIONAL MECHANICAL CODE (IMC)

5.1 APPLICABILITY: All buildings and temporary structures built, located or placed within the town from and after the established effective date, upon approval and passage of this Ordinance, shall be properly plumbed in accordance with the requirements of the International Mechanical Code (IMC), Edition currently in use by the state of Wyoming, as published by the International Code Council. The said Code is incorporated herein by reference as if the same were more fully set out herein, except as follows:

5.2 IMPLEMENTATION: The International Mechanical Code is hereby adopted and incorporated herein by reference, except for the following amendments:

- 5.2.1 Section 101.1 Title. Shall read, “These regulations shall be known as the Mechanical Code of the Town of Alpine, herein after referred to as “this code””.
- 5.2.2 ~~Add Section 101.1.1 Building Official. Building Official shall replace code official throughout this code.~~
- 5.2.3 ~~Section 103.1: Creation of agency. Shall read “The Town of Alpine Planning and Zoning Department and the official in charge thereof shall be known as the Planning and Zoning Administrator. The function of the agency~~

Town of Alpine- Building Code
Adopted- xx/xx/xxxx Ordinance 2025-xx

shall be the implementation, administration, and enforcement of the provisions of this code unless otherwise specified in the amendments below.”

- 5.2.4 Section 103.2: Appointment. Shall read “The Planning and Zoning Administrator shall be appointed by the chief appointing authority of the jurisdiction.”
- 5.2.5 Section 103.3: Deputies. Shall read “In accordance with the prescribed procedures of the jurisdiction and with the concurrence of the appointing authority, the chief appointing authority of the jurisdiction shall have the authority to appoint a building official, other related technical officers, inspectors, and other employees. Such employees shall have powers delegated by the chief appointing authority of the jurisdiction.”
- 5.2.6 Section 104.3: Applications and permits. Shall read “The Planning and Zoning Administrator shall receive applications. The Building Official shall review construction documents. The Planning and Zoning Commission shall review site plans. The Design Review Committee shall review construction documents and design for compliance with the current adopted Design Review Standards. The Town Clerk shall issue permits upon approval when presented with a complete application by the planning and zoning administrator, approval of construction documents by the Building Official, approval of the site plan by the Planning and Zoning Commission, and approval of the building design by the Design Review Committee if applicable.
- 5.2.7 Section 104.7: Official records. Planning and Zoning Administrator shall replace code official.
- 5.2.8 Section 104.7.1: Approvals. Planning and Zoning Administrator shall replace code official.
- 5.2.9 Section 104.7.5: Fees. Planning and Zoning Administrator shall replace code official.
- 5.2.10 Section 105.1: Where required. The Town of Alpine shall replace code official.
- 5.2.11 Section 105.3: Application for permit. Planning and Zoning Administrator shall replace code official.

- 5.2.12 Section 105.3.2: Time limitation of application. Shall be deleted in its entirety.
- 5.2.13 Section 105.4.3: Expiration shall be deleted in its entirety.
- 5.2.14 Section 106.1: Construction documents. The first sentence shall read, "Construction documents, engineering calculations, diagrams, and other data shall be submitted in two paper sets, and one digital set, with each permit application."
- 5.2.15 Section 108.3: Permit valuations. The last sentence: The governing authority shall replace the Building Official.
- 5.2.16 Section 108.4: Work commencing before permit issuance. The governing authority shall replace code official.
- 5.2.17 Section 108.6: Refunds. Shall read, "The governing authority is authorized to establish a refund policy when no work has been done under a permit issued in accordance with this code".
- 5.2.18 Add Section 111.2.2: Re-inspection Fee. "A re-inspection fee will be assessed for each inspection or re-inspection when such portion of the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees may be assessed when the approved plans are not readily available to the inspector, for failure to provide access on the date for which inspection is requested, or for deviating from the plans requiring the approval of the Town of Alpine."
- 5.2.19 Section 114.2: Notice of violation. Or Planning and Zoning Administrator shall be added after Building Official.
- 5.2.20 Section 114.4: Violation penalties. Shall read "Persons who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter or repair mechanical work in violation of the approved construction documents or directive of the Building Official, or permit or certificate issued under the provisions of this code, shall be subject to penalties as provided in 111 Ordinance No. 2005-01 of the Town of

Alpine Municipal Code or any amendments or revisions thereto.”

5.2.21 Section 115.4: Failure to comply shall read “Any person who shall continue any work after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition shall upon conviction be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto.”

5.2.22 ~~A third sentence shall be added to Section 107.2.3 Approval Required and shall read, “A re-inspection fee will be assessed for each inspection or re-inspection when such portion of the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees will be assessed when the approved plans are not readily available to the inspector; for failure to provide access on the date for which inspection is requested or for deviating from the plans requiring the approval of the Building Official”.~~

5.2.23 ~~Section 108.4 Violation penalties. Shall read, “Any person who shall violate a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter or repair plumbing or mechanical work in violation of the approved construction documents or directive of the code official, or of a permit or certificate of occupancy issued under the provisions of this code, shall, upon conviction, be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code and any amendments or revisions thereto.”~~

5.2.24 ~~The last sentence of Section 108.5 Stop work orders shall read, “Any person who shall continue any work in or about the structure after having been served with a stop work, except such work as that person is directed to perform to remove a violation or unsafe condition shall, upon conviction, be punished as provided in 111~~

~~Ordinance No. 2005-01 of the Town of Alpine Municipal Code and any amendments or revisions thereto."~~

5.2.25 A second sentence shall be added to Section 903.3

Unvented ~~Decorative Room~~ gas log heaters. Shall read, "Unvented gas logs shall not be installed in habitable rooms or spaces."

6. INTERNATIONAL FIRE CODE (IFC)

6.1 APPLICABILITY: There is hereby adopted by the Town Council of the Town of Alpine, for the purpose of prescribing regulations governing conditions hazardous to life and property from fire, hazardous materials or explosion, that certain Code and Standards known as the International Fire Code (IFC). Edition currently in use by the state of Wyoming), including Appendices B, C, D, E, F, and G, published by the International Code Council, hereby establishing an effective date upon approval and passage of this ordinance. The International Fire Code is hereby incorporated by reference as if the same were more fully set out herein.

6.2 IMPLEMENTATION: The International Fire Code is hereby adopted and incorporated herein by reference.

7. INTERNATIONAL FUEL GAS CODE (IFGC)

7.1 APPLICABILITY: All buildings and temporary structures built, located or placed within the town from and after the established effective date, upon approval and passage of this Ordinance shall be properly plumbed in accordance with the requirements of the International Fuel Gas Code (IFGC), Edition currently in use by the state of Wyoming, as published by the International Code Council. The said Code is incorporated herein by reference as if the same were more fully set out herein except as follows:

7.2 IMPLEMENTATION: The International Fuel Gas Code is hereby adopted and incorporated herein by reference, except for the following amendments:

7.2.1 Section 101.1: Title. shall read, "These regulations shall be known as the Fuel Gas Code of the Town of Alpine, hereinafter referred to as 'this code'".

7.2.2 Add Section 101.1.1 Building Official. Building Official shall replace code official throughout this code unless otherwise specified below.

7.2.3 Section 103.1: Creation of agency. Shall read "The Town of Alpine Planning and Zoning Department and

Town of Alpine- Building Code
Adopted- xx/xx/xxxx Ordinance 2025-xx

the official in charge thereof shall be known as the Planning and Zoning Administrator. The function of the agency shall be the implementation, administration, and enforcement of the provisions of this code unless otherwise specified in the amendments below.”

7.2.4 Section 103.2: Appointment. Shall read “The Planning and Zoning Administrator shall be appointed by the chief appointing authority of the jurisdiction.”

7.2.5 Section 103.3: Deputies. Shall read “In accordance with the prescribed procedures of the jurisdiction and with the concurrence of the appointing authority, the chief appointing authority of the jurisdiction shall have the authority to appoint a building official, other related technical officers, inspectors, and other employees. Such employees shall have powers delegated by the chief appointing authority of the jurisdiction.”

7.2.6 Section 104.3: Applications and permits. Shall read “The Planning and Zoning Administrator shall receive applications. The Building Official shall review construction documents. The Planning and Zoning Commission shall review site plans. The Design Review Committee shall review construction documents and design for compliance with the current adopted Design Review Standards. The Town Clerk shall issue permits upon approval when presented with a complete application by the planning and zoning administrator, approval of construction documents by the Building Official, approval of the site plan by the Planning and Zoning Commission, and approval of the building design by the Design Review Committee if applicable.

7.2.7 Section 104.7: Planning and Zoning Administrator shall replace code official.

7.2.8 Section 104.7.1: Approvals. Planning and Zoning Administrator shall replace code official.

7.2.9 Section 104.7.5: Fees. Planning and Zoning Administrator shall replace code official.

- 7.2.10 Section 105.1: Where required. The Town of Alpine shall replace code official.
- 7.2.11 Section 105.3: Application for permit. Planning and Zoning Administrator shall replace code official.
- 7.2.12 Section 105.3.2: Time limitation of application shall be deleted in its entirety.
- 7.2.13 Section 105.4.3: Expiration shall be deleted in its entirety.
- 7.2.14 Section 106.1: Construction documents. The first sentence shall read, "Construction documents, engineering calculations, diagrams, and other data shall be submitted in two paper sets, and one digital set, with each permit application."
- ~~7.2.15 A third sentence shall be added to Section 107.3.3 Re-inspection and testing and shall read, "A re-inspection fee will be assessed for each inspection or re-inspection when such portion of the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees may be assessed when the approved plans are not readily available to the inspector, for failure to provide access on the date for which inspection is requested, or for deviating from the plans requiring the approval of the Town of Alpine"~~
- 7.2.16 Section 108.3: Permit valuations. The last sentence: The governing authority shall replace Building Official.
- 7.2.17 Section 108.4: Work commencing before permit issuance. The governing authority shall replace code official.
- ~~7.2.18 The last sentence of Section 108.5 Stop work orders shall read, "Any person who shall continue any work in or about the structure after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition shall, upon conviction, be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto".~~

- 7.2.19 Section 108.6: Refunds shall read, “The governing authority is authorized to establish a refund policy when no work has been done under a permit issued in accordance with this code”.
- 7.2.20 Add Section 111.3.3.1: Re-inspection Fee. “A re-inspection fee will be assessed for each inspection or re-inspection when such portion of the work for which inspection is requested is not complete or when required corrections have not been made. Re-inspection fees may be assessed when the approved plans are not readily available to the inspector, for failure to provide access on the date for which inspection is requested, or for deviating from the plans requiring the approval of the Town of Alpine.”
- 7.2.21 Section 113.2: Notice of violation. Or Planning and Zoning Administrator shall be added after Building Official.
- 7.2.22 Section ~~108.4~~ 113.4 Violation Penalties. Shall read, “Any person who violates a provision of this code or shall fail to comply with any of the requirements thereof or who shall erect, install, alter or repair plumbing or mechanical work in violation of the approved construction documents or directive of the code official, or of a permit or certificate of occupancy issued under the provisions of this code, shall, upon conviction, be punished as provided in 111-Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto.”
- 7.2.23 Section 114.4: Failure to comply. Shall read “Any person who shall continue any work after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition shall upon conviction be punished as provided in 111 Ordinance No. 2005-01 of the Town of Alpine Municipal Code or any amendments or revisions thereto.”
- 7.2.24 Section 303.3: Prohibited Locations. Exception numbers 3 and 4 shall be deleted.

7.2.25 Section 303.3.1: Fireplaces and decorative appliances in Group I-2 occupancies. A third sentence will be added and read Unvented Decorative Room Heaters. “Unvented Decorative Room Heaters shall not be installed in habitable spaces”.

8. GRACE PERIOD FOR BUILDING DESIGN PHASE AND APPLICATIONS:

Projects that are in the building design phase and have submitted relevant applications before the effective date of this ordinance shall be granted a grace period of six (6) months from the effective date of the newly implemented codes to obtain a building permit. During this grace period, such projects may proceed under the standards, regulations, and requirements that were in effect at the time of application submission and will not be subject to the new provisions introduced by this ordinance. If a building permit is not obtained within the six-month grace period, the application shall be deemed void, and any associated application fees will be forfeited. A new application must then be submitted in compliance with the currently adopted ICC codes in effect at that time.

9. VIOLATIONS, PENALTIES, AND REMEDIES

9.1 Unlawful to Violate Ordinance: It will be unlawful for any person, private firm or corporation, or public agency to construct, alter, expand, renovate, or demolish any building or structure in violation of the Alpine Land Use and Development Code.

9.2 Continuing Violations and Penalties: Any person, group, firm, or corporation whether as principle, agent, employee, or otherwise, violating, causing, or permitting the violation of the provisions of this ordinance will be guilty of a misdemeanor, subject to a Seven Hundred and Fifty (\$750) dollar fine, such person, group, firm, or corporation will be deemed to be guilty of a separate offense for each and every day during which any violation of this ordinance is committed, continues or results from the action or inaction of such person, group, firm, or corporation.

9.3 Town Enforce through Appropriate Civil Remedy: The Town may also enforce this ordinance through any appropriate civil remedy.

9.4 Actions for Penalties or Fines:

9.4.1 To be brought in Corporate Name. All actions brought to recover any penalty or fine will be brought in the corporate name of the municipality.

9.4.2 Disposition of Recoveries. The recoveries, when collected, will be paid into the treasury of the municipality.

Town of Alpine- Building Code
Adopted- xx/xx/xxxx Ordinance 2025-xx

21

- 9.5 Applicability of "Wyoming Administrative Procedure Act": In all proceedings before an agency or board pursuant to the rules set forth in this article, the "Wyoming Administrative Procedure Act" will apply. If a conflict arises between such act and the rules set forth in this article, the act will supersede these rules.
- 9.6 Ordinance Enforceable in Addition to Other Remedies: The Alpine International Code Council Codes will be enforceable in addition to the other remedies provided by law, by injunction, mandamus, or proceedings in abatement.