



PLANNING & ZONING COMMISSION AGENDA

April 08, 2025, at 7:00 PM

1. CALL TO ORDER:

2. ROLL CALL & ESTABLISH QUORUM:

3. TONIGHT'S APPOINTMENTS/ NEW BUSINESS:

- a. DEADHORSE DEVELOPMENT, LLC (New West Building Company): Lot #1, Deadhorse Meadows, 856 Elkhorn Drive, Building B (East): #C-01-25 – Site Plan Review**
- b. DEADHORSE DEVELOPMENT, LLC (New West Building Company): Lot #1, Deadhorse Meadows, 856 Elkhorn Drive, Building A (West): #C-02-25 – Site Plan Review**
- c. ALPINE ON, LLC – ALPINE VALLEY RV RESORT: Lot #20, Snake River Junction, Lunch Counter Lane – Preliminary Site Plan Review**
- d. ALPINE ACE HARDWARE: Lot # 716 "C" Lakeview Estates Subdivision, 100 Greys River Road - (#MC-02-25) – Temporary Green House Installation {4-15-25 to 10-1-25}**

4. TABLED ITEMS:

- a. NORTH LINCOLN COUNTY HOSPITAL DBA STAR VALLEY HEALTH: Lot #189, Alpine Meadows Subdivision, 37 Wintergreen Drive (#MC-01-25) - Electrical in Commercial Building**
- b. JW PROPERTY INVESTMENTS, LLC {JEFF JEBBSEN}: Lot #732 "B", Lakeview Estates Subdivision, 192 Trail Drive Road (#R2-01-25) - Multi-Unit Townhomes**
- c. JW PROPERTY INVESTMENTS, LLC {JEFF JEBBSEN}: Lot #733 "B", Lakeview Estates Subdivision, 194 Trail Drive Road (#R2-02-25) - Multi-Unit Townhomes**

5. PLANNING/ZONING CORRESPONDENCE:

- Public Comments and/or Concerns, if any

PLANNING AND ZONING DISCUSSION ITEMS:

- [Design](#) Review Committee Guidelines Review
- [Design](#) Review Checklist

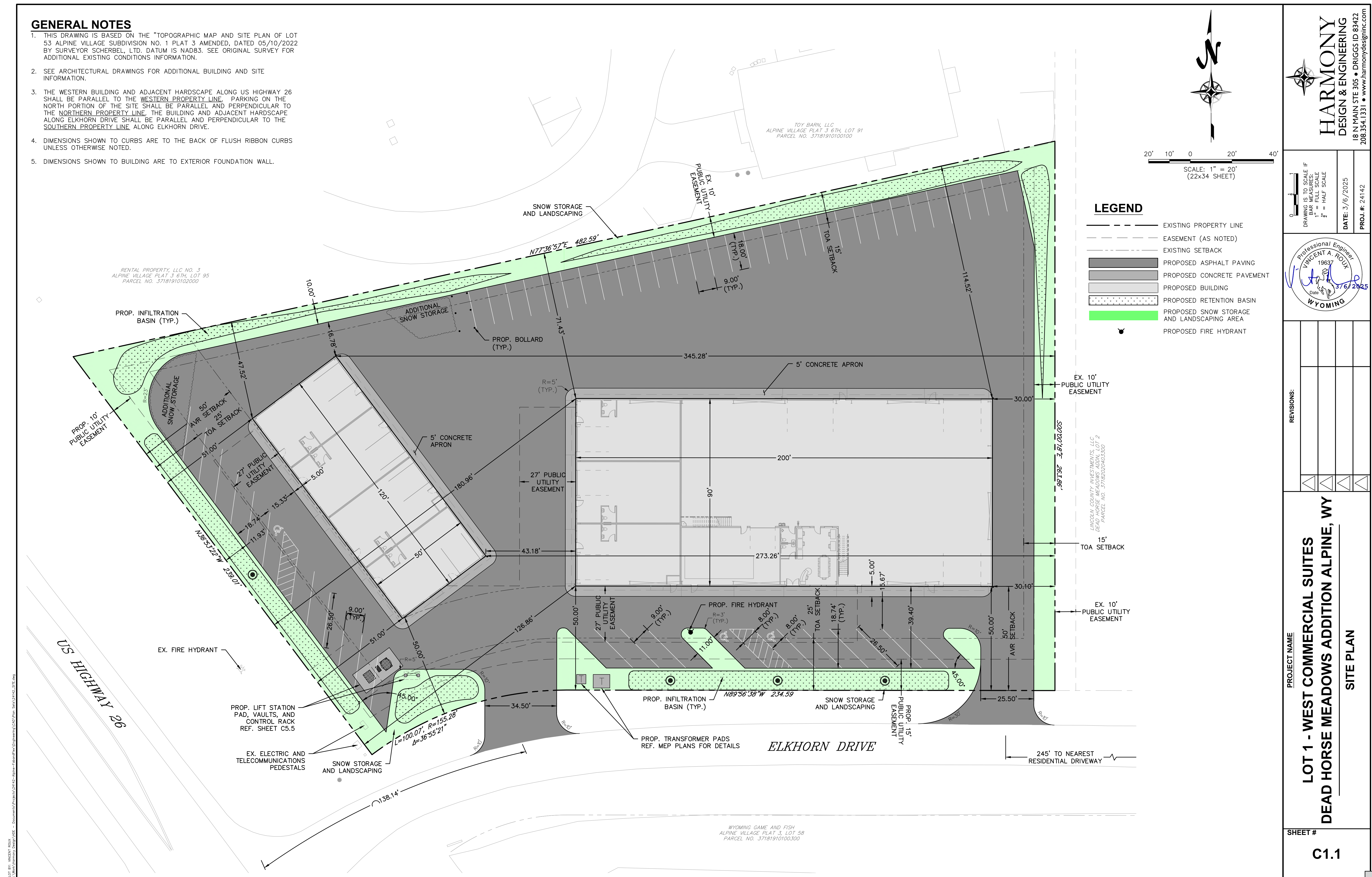
6. APPROVAL OF MINUTES:

- Planning and Zoning Commission Meeting Minutes – February 11th, 2025
- Planning and Zoning Commission Meeting Minutes – March 11th, 2025

7. TOWN COUNCIL ASSIGNMENT:

- Town Council Meeting – April 15th, 2025

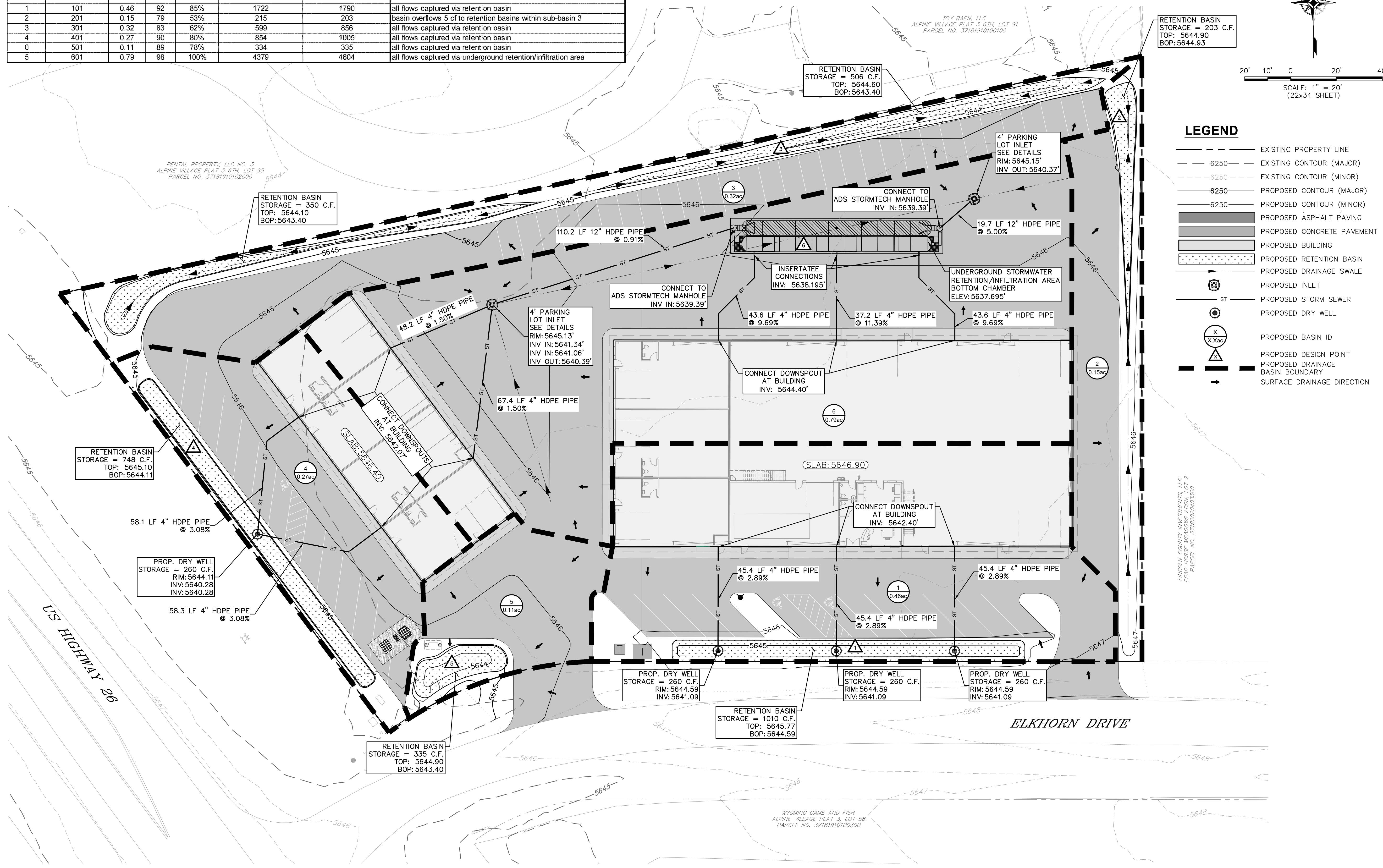
8. ADJOURN MEETING:



DRAINAGE SUMMARY TABLE							
Design Point	SUB-BASIN ATTRIBUTES				REQUIRED STORAGE	PROPOSED STORAGE	NOTES
	Tributary Sub-basin	Area (ac)	CN	% Impervious	V(10) (cf)	V(10) (cf)	
1	EX	2.09	30	0%	n/a	n/a	
1	101	0.46	92	85%	1722	1790	all flows captured via retention basin
2	201	0.15	79	53%	215	203	basin overflows 5 cf to retention basins within sub-basin 3
3	301	0.32	83	62%	599	856	all flows captured via retention basin
4	401	0.27	90	80%	854	1005	all flows captured via retention basin
0	501	0.11	89	78%	334	335	all flows captured via retention basin
5	601	0.79	98	100%	4379	4604	all flows captured via underground retention/infiltration area

GENERAL NOTES

- STORM PIPE SHALL BE DUAL WALL CURROGATED HDPE, ADS N12 OR EQUAL.



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DATE: 3/6/2025
PROJECT: 24142

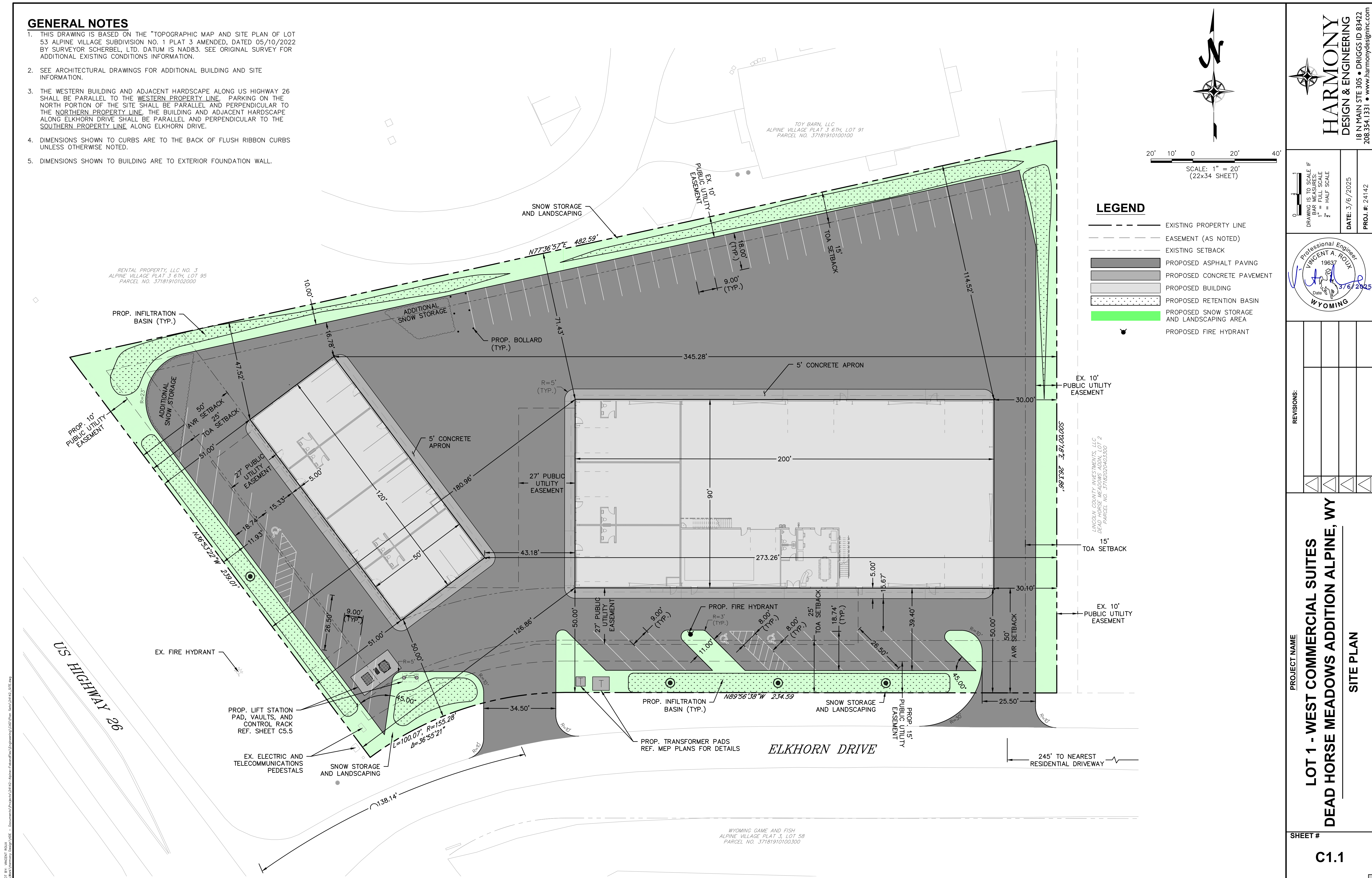
Professional Engineer
VINCENT A. ROX
19637
3/6/2025
WYOMING

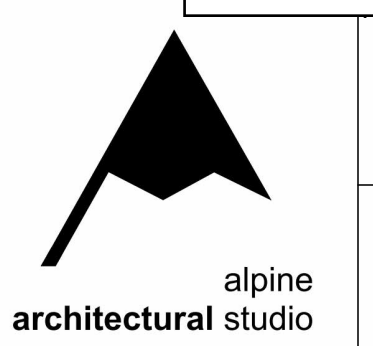
REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT NAME: LOT 1 - WEST COMMERCIAL SUITES
DEAD HORSE MEADOWS ADDITION ALPINE, WY
STORMWATER MANAGEMENT PLAN

SHEET # C4.1





PROJECT INFORMATION

DEAD HORSE LOT 1 (VACATED LOT 53)
TOWN OF ALPINE ZONING: MRC

GROSS LOT AREA: 2.10 ACRES / 91,562 SQFT
NET LOT AREA: 1.80 ACRES / 78,807 SQFT

LUDC 3-204.B: PERMITTED USES INCLUDES COMMERCIAL RETAIL STORES & COMMERCIAL OFFICES, WELDING & FABRICATION SHOPS.

LUDC 3-204.F: SETBACKS: FRONT - 25 FEET, SIDE - 15 FEET, REAR - 20 FEET
MAXIMUM BUILDING HEIGHT: 35 FEET

LUDC 3-204.G: COMMERCIAL BUILDING STRUCTURES IN THE "MRC" MIXED RESIDENTIAL AND COMMERCIAL DISTRICT CAN BE FORTY-FIVE (45) FEET OR LESS
REFER TO AVR DESIGN GUIDELINES / 35 FEET MAX

PARKING INFORMATION:

7 OFFICES/SHOP SUITES: (7) AT 1,500 SQFT GROSS EACH / 10,500 SQFT GROSS
TOTAL OFFICES/SHOP SQFT: 10,500
1 PARKING SPACE PER 400 SQFT FLOOR SPACE
10,500 SQFT / 400 SQFT = 27 PARKING SPACES
PARKING SPACES REQUIRED: 27
* INDICATES EMPLOYEE ONLY GARAGE PARKING SPACE

WELDING FABRICATION: 15,498 SQFT GROSS (INCLUDES 1,998 SQFT MEZZANINE)

1 PARKING SPACE EVERY 800 SQFT OF SHOP SPACE PLUS 1 PER EMPLOYEE

15,498 SQFT / 800 SQFT = 20 PARKING SPACES
PLUS 1 SPACE EA EMPLOYEE = 12 PARKING SPACES

PARKING SPACES REQUIRED: 32
* INDICATES EMPLOYEE ONLY GARAGE PARKING SPACE

TOTAL SITE PARKING REQUIRED: 59
TOTAL SITE PARKING PROVIDED: 64

SNOW STORAGE REQUIRED:

53,317 SQFT PARKING/DRIVE AREA X 0.20 = 10,663 SQFT SNOW STORAGE REQ'D
SNOW STORAGE PROVIDED: 15,586 SQFT (14,296 SQFT LANDSCAPED AREA + 1,290 SQFT ADDITIONAL SNOW STORAGE)

LANDSCAPED AREA PROVIDED: 14,296 SQFT
SITE LANDSCAPE PERCENTAGE: 14,296/91,562 = %15.6

SHADED GREEN AREA INDICATES SNOW STORAGE AND LANDSCAPED AREA:

ADDITIONAL SNOW STORAGE AREA:

TOWN OF ALPINE (TOA) SETBACKS:
TOA FRONT YARD: 25 FEET TOA SIDE YARD: 15 FEET TOA REAR YARD: 20 FEET
CORNER LOT CONDITION: (2) FRONT YARD & (2) SIDE YARD SETBACKS

SECTION 4-505. COMMERCIAL AND MIXED COMMERCIAL-RESIDENTIAL BUILDINGS
(2) PITCHED ROOFS WITHOUT A PARAPET WALL REQUIRE AN EIGHTEEN (18) INCH MINIMUM OVERHANG.
(3) SNOW LOAD: STRUCTURES SHALL BE ABLE TO SUPPORT A ROOF SNOW LOAD OF ONE HUNDRED (100) POUNDS PER SQUARE FOOT AND A GROUND SNOW LOAD OF ONE HUNDRED FORTY-THREE (143) POUNDS PER SQUARE FOOT.
(4) SEISMIC DESIGN: STRUCTURES SHALL BE DESIGNED TO SUPPORT "SITE CLASS "D" SEISMIC DESIGN.
(5) FROST DEPTH: STRUCTURES SHALL BE DESIGNED TO SUPPORT THIRTY-SIX (36) INCH FROST LINE DEPTH.

AVR DESIGN GUIDELINE & CC&R INFORMATION

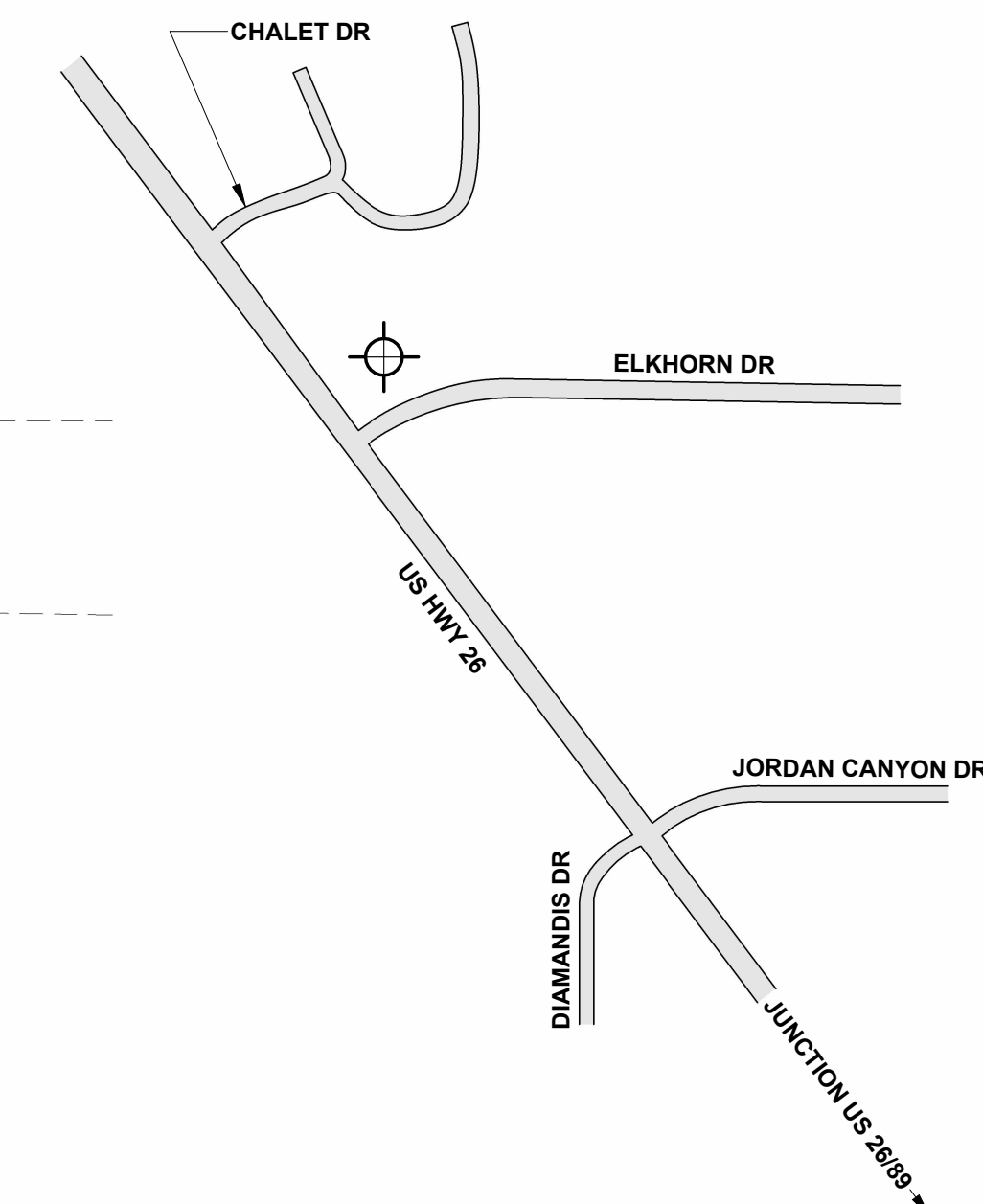
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FOR SINGLE FAMILY LOTS NO BUILDING SHALL BE ERRECTED ON ANY LOT THAT EXCEEDS TWO AND ONE HALF STORIES IN HEIGHT ABOVE FINISHED GRADE. MULTIPLE FAMILY LOTS AND COMMERCIAL LOTS, NO BUILDING OR STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT TO A HEIGHT GREATER THAN THIRTY-FIVE FEET (35') FROM EXISTING GRADE WITHOUT THE WRITTEN APPROVAL OF THE ACC.

CC&R'S COMMERCIAL:
SETBACKS:
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TOTAL PARKING AREA INCLUDING CIRCULATION: 53,317 SQFT
(53,317/2 = 26,658 SQFT ALLOWABLE FLOOR AREA)

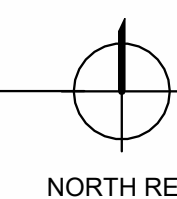
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VICINITY MAP: NTS

PROJECT LOCATION: NORTH REF

1 SITE PLAN
SP101 1" = 20'-0"



0 20 40
SCALE IN FEET
SCALE: 1" = 20'-0"

3/22/2025 7:31:44 PM | AAS & DH L1 SITE |

856 ELKHORN DRIVE, ALPINE, WY
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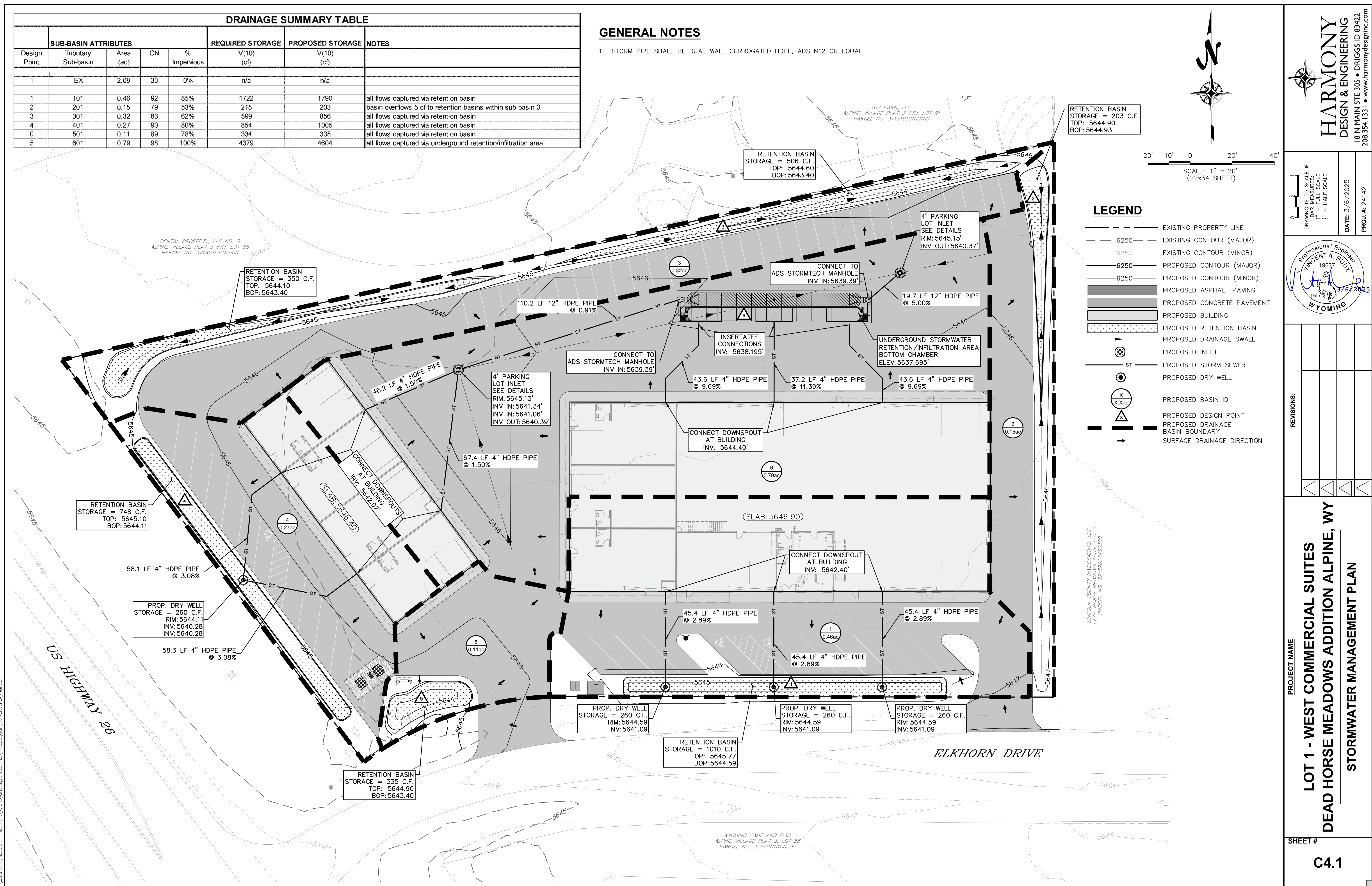


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3/18/2025
DRAWN BY: | BENNETT
CHECKED BY: | BENNETT
REVISIONS

SITE PLAN

SP101



LOT 1 - WEST COMMERCIAL SUITES

DEAD HORSE MEADOWS ADDITION ALPINE, WY

STORMWATER MANAGEMENT PLAN

PROJECT NAME

LOT 1 - WEST COMMERCIAL SUITES

DEAD HORSE MEADOWS ADDITION ALPINE, WY

STORMWATER MANAGEMENT PLAN

DATE: 3/6/2025

PROJ. # 24142

REVISIONS:

NO.	DESCRIPTION	DATE

Professional Engineer

VINCENT A. ROX

1963

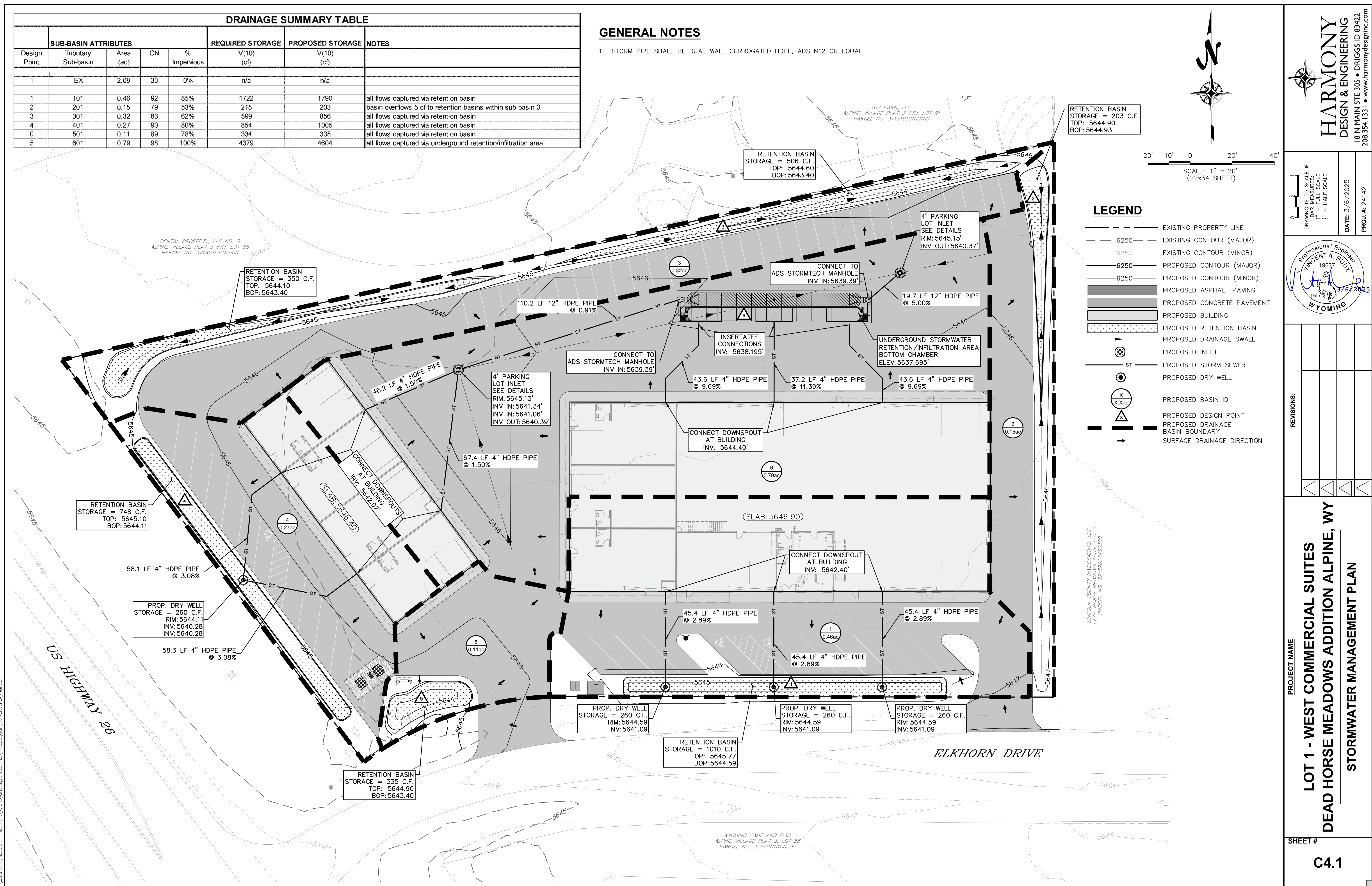
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WYOMING

SHEET #

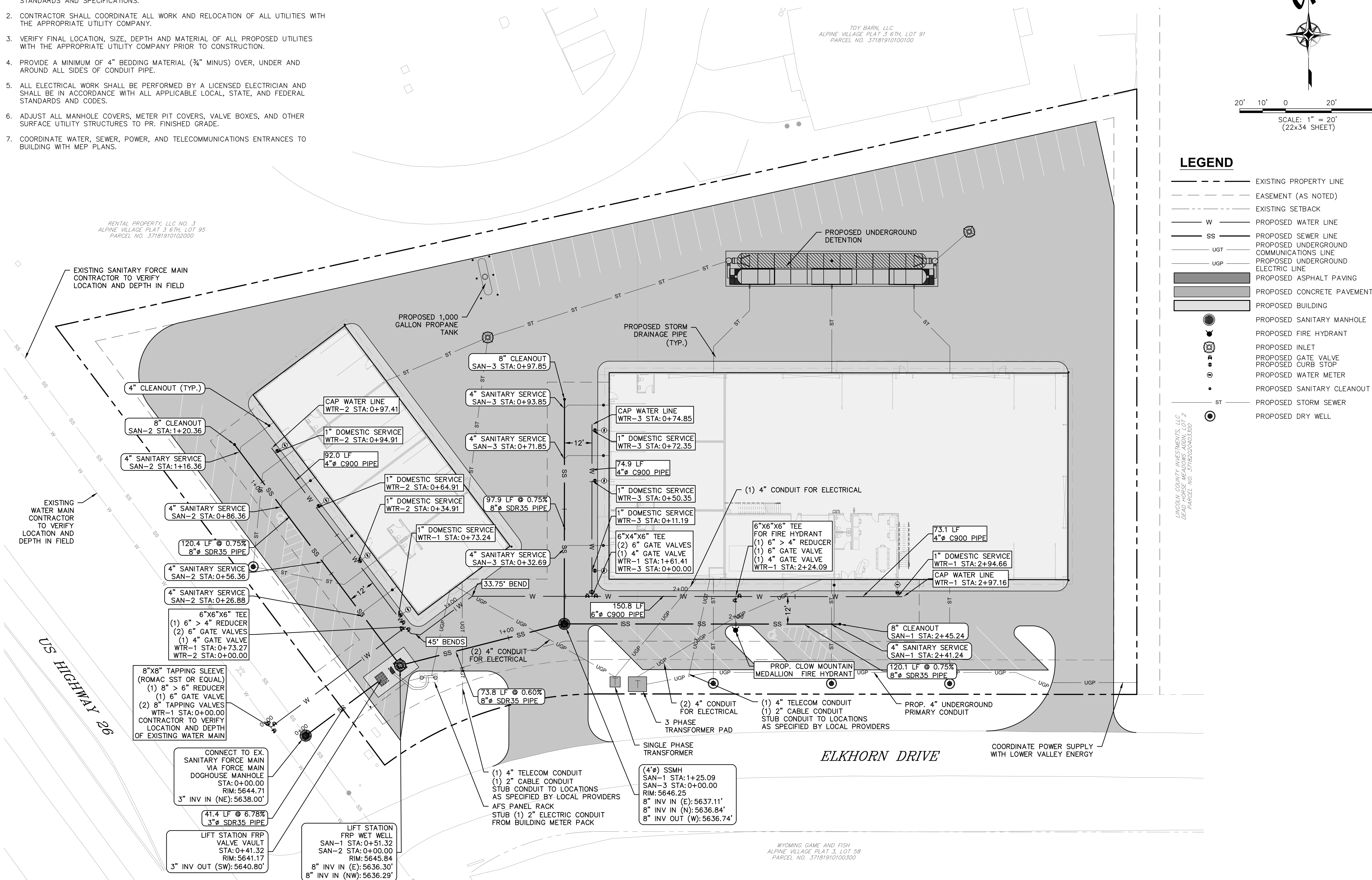
C4.1

Section 3, Items



UTILITY NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF ALPINE LAND DEVELOPMENT CODE, CURRENT EDITION. IMPROVEMENTS NOT SPECIFICALLY COVERED IN THE CITY STANDARDS MUST MEET OR EXCEED THE WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
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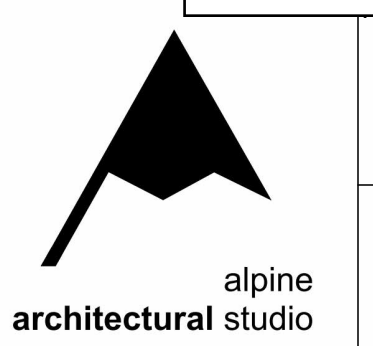
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DEAD HORSE MEADOWS ADDITION ALPINE, WY

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C2.1



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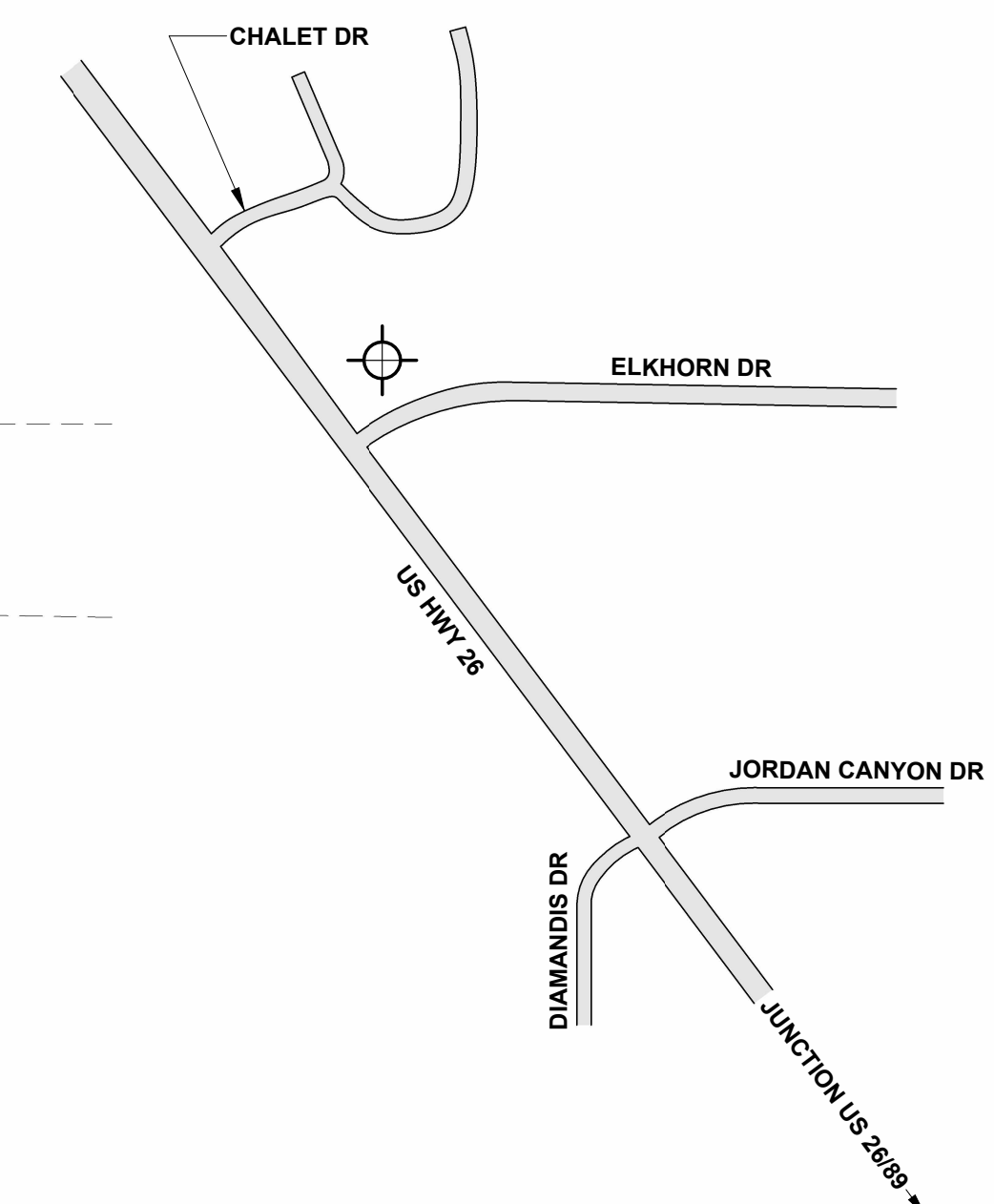
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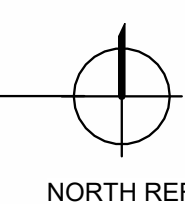
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VICINITY MAP: NTS

PROJECT LOCATION: NORTH REF

1 SITE PLAN
SP101 1" = 20'-0"



0 20 40
SCALE IN FEET
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3/22/2025 7:31:44 PM | AAS & DH L1 SITE |

856 ELKHORN DRIVE, ALPINE, WY
LOT-1 (VACATED LOT 53)
DEAD HORSE MEADOWS ADDITION



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3/18/2025
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CHECKED BY: BENNETT
REVISIONS

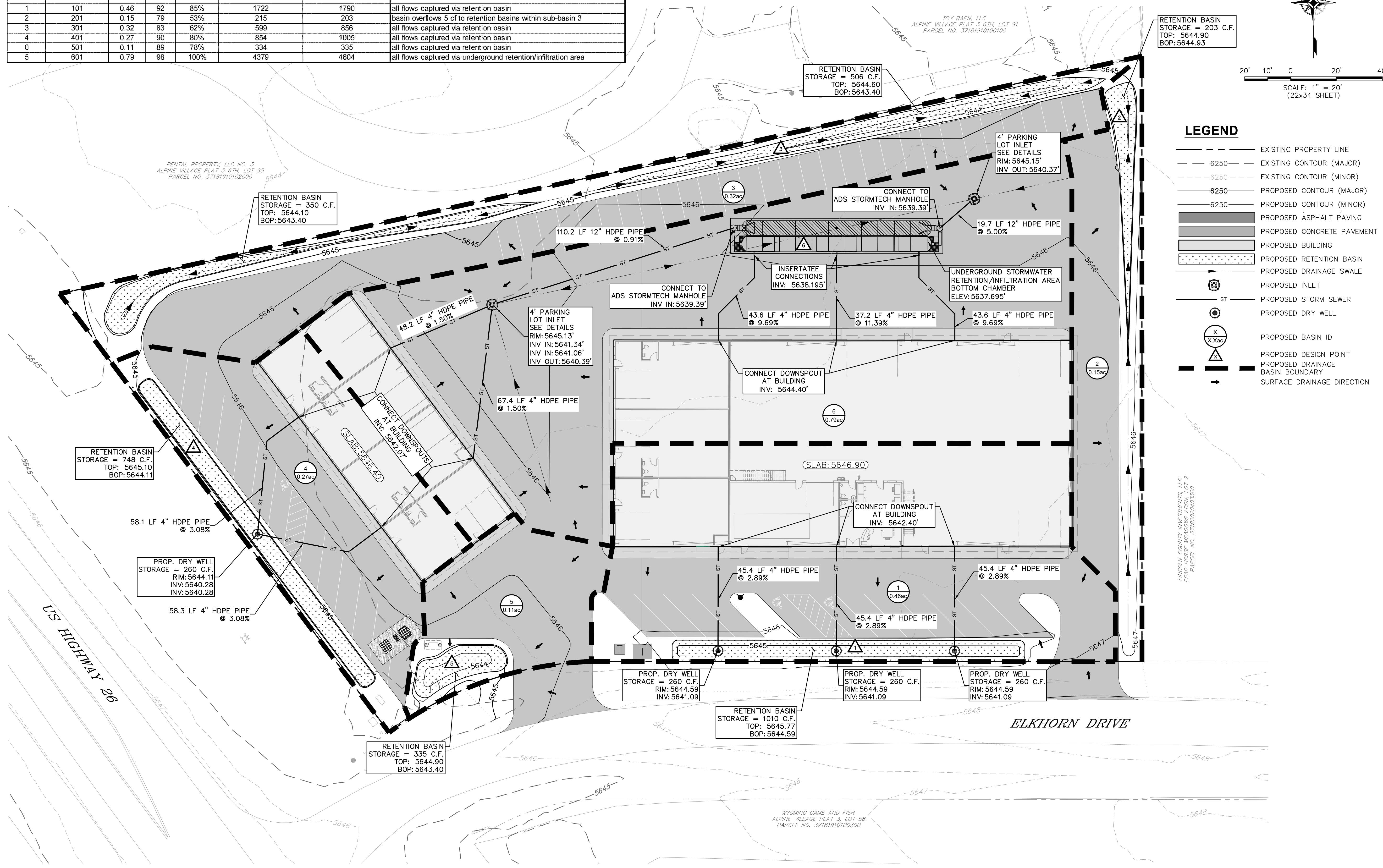
SITE PLAN

SP101

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REVISIONS:

NO.	DESCRIPTION

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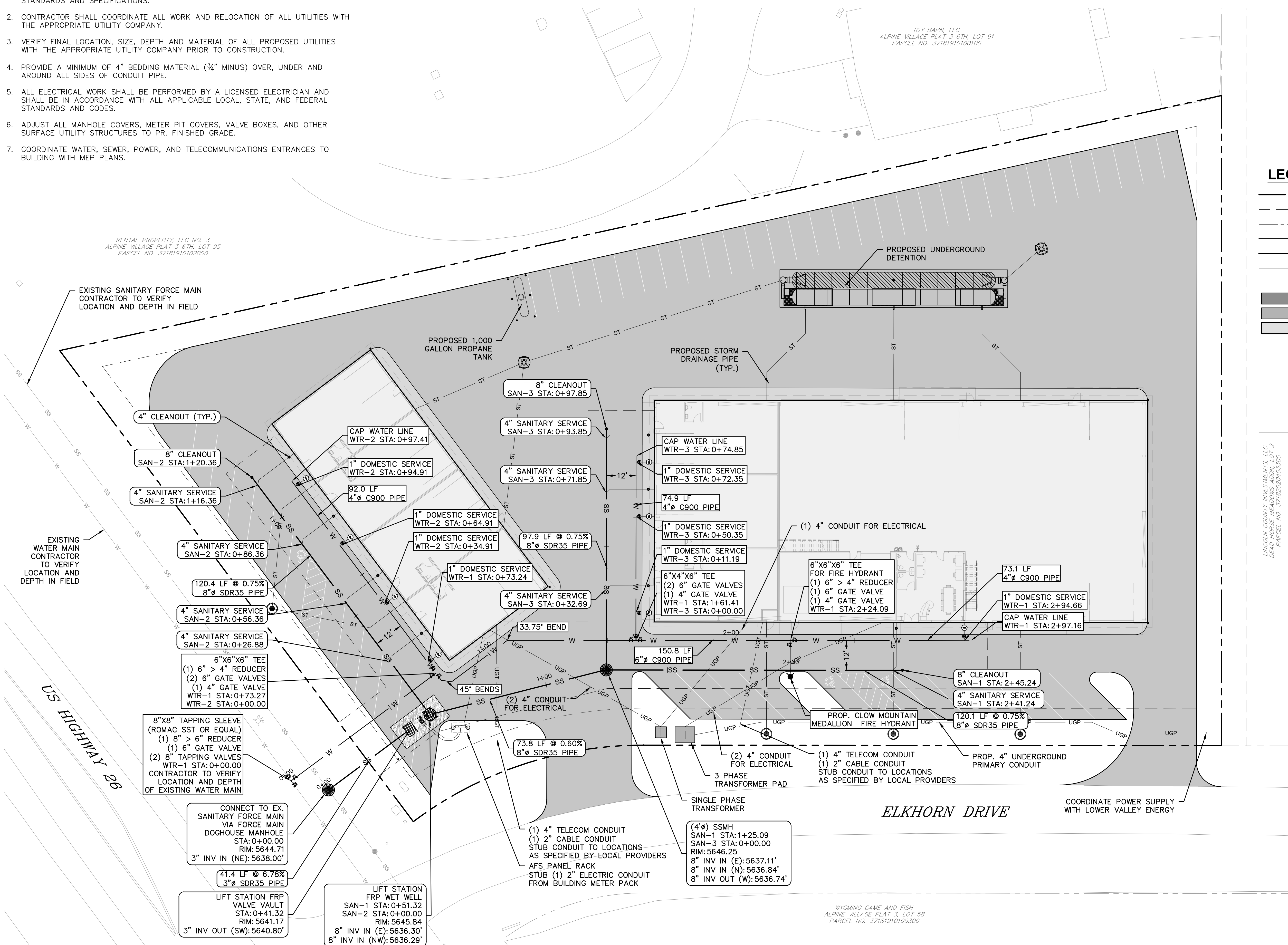
STORMWATER MANAGEMENT PLAN

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10

UTILITY NOTES




















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20' 10' 0 20' 40'

SCALE: 1" = 20'
(22x34 SHEET)

LEGEND

-  EXISTING PROPERTY LINE
 EASEMENT (AS NOTED)
 EXISTING SETBACK
 PROPOSED WATER LINE
 PROPOSED SEWER LINE
 PROPOSED UNDERGROUND COMMUNICATIONS LINE
 PROPOSED UNDERGROUND ELECTRIC LINE
 PROPOSED ASPHALT PAVING
 PROPOSED CONCRETE PAVEMENT
 PROPOSED BUILDING
 PROPOSED SANITARY MANHOLE
 PROPOSED FIRE HYDRANT
 PROPOSED INLET
 PROPOSED GATE VALVE
 PROPOSED CURB STOP
 PROPOSED WATER METER
 PROPOSED SANITARY CLEANOUT
 PROPOSED STORM SEWER
 PROPOSED DRY WELL

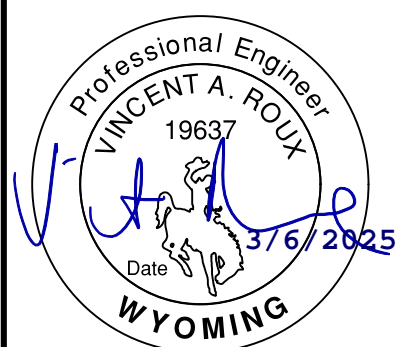
LINCOLN COUNTY INVESTMENTS, LLC
40 HORSE MEADOWS ADDN, LOT 2
PARCEL NO. 37182020403300



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88.354.1331

DRAWING IS TO SCALE IF
 BAR MEASURES:
 1" = FULL SCALE
 1/2" = HALF SCALE

DATE: 3/6/2025
 PROJ. #: 24142



REVISIONS:

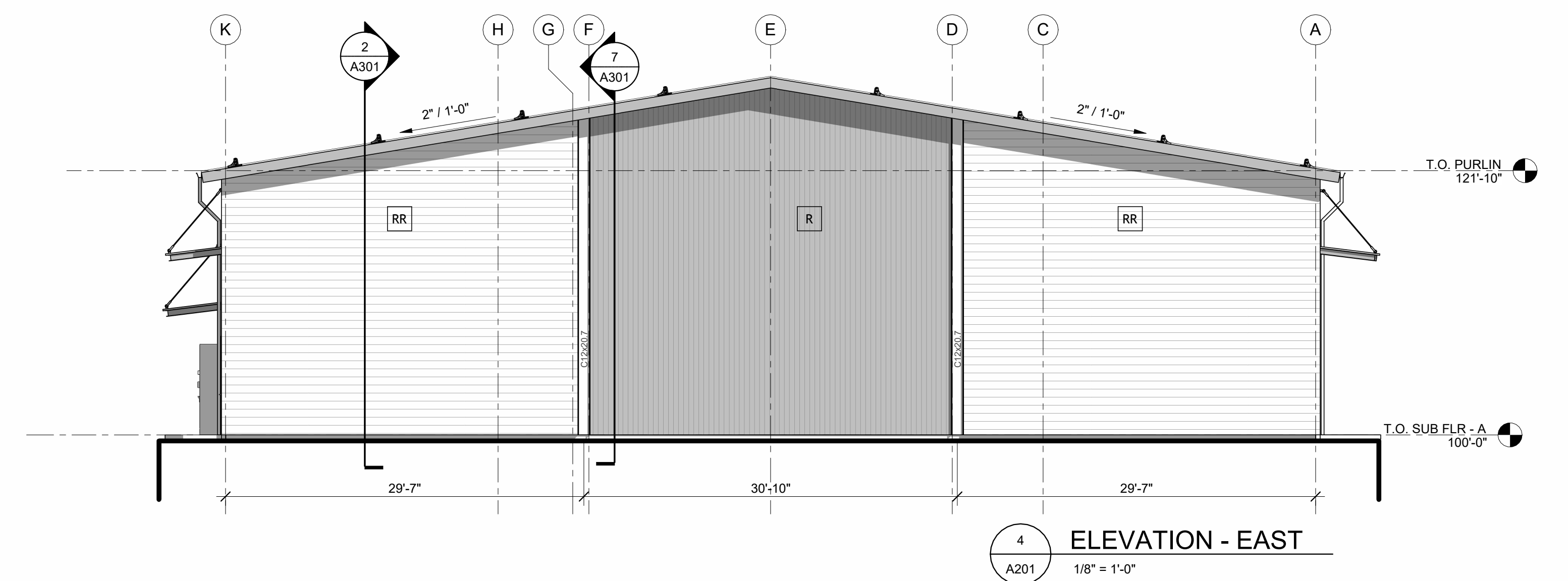
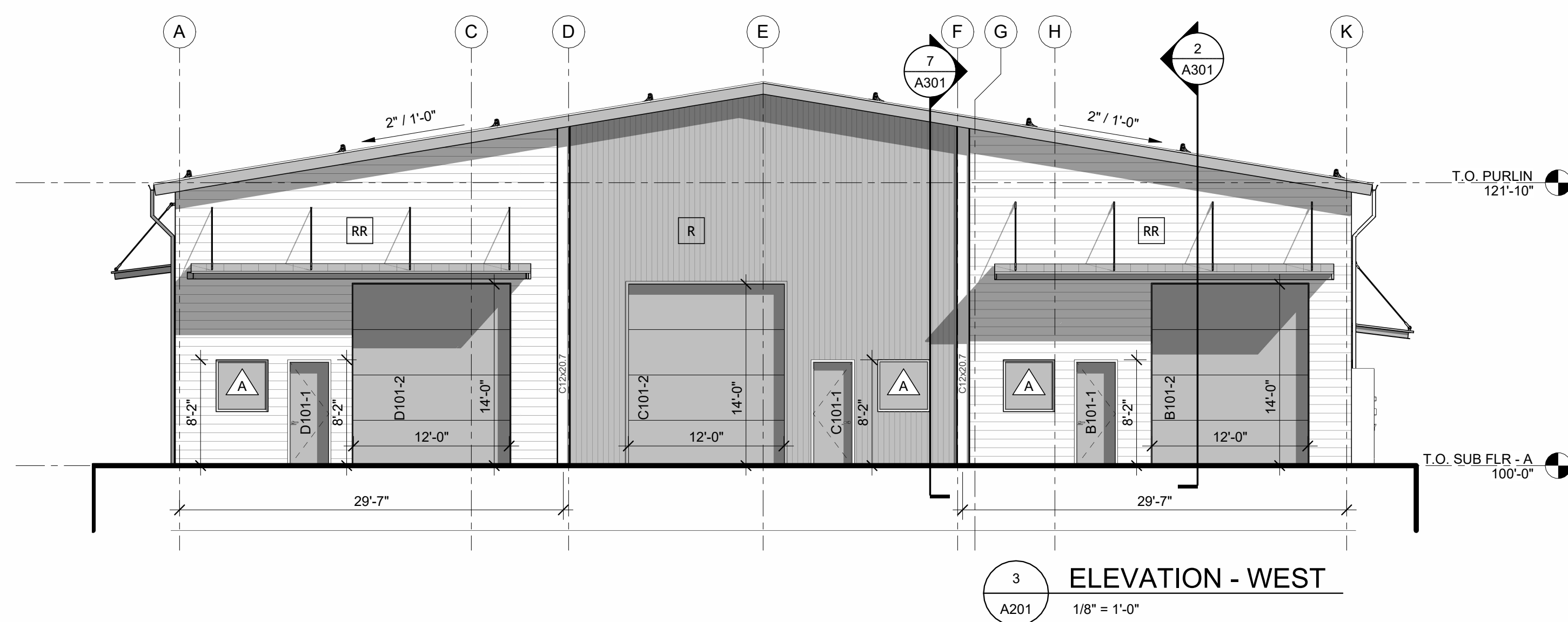
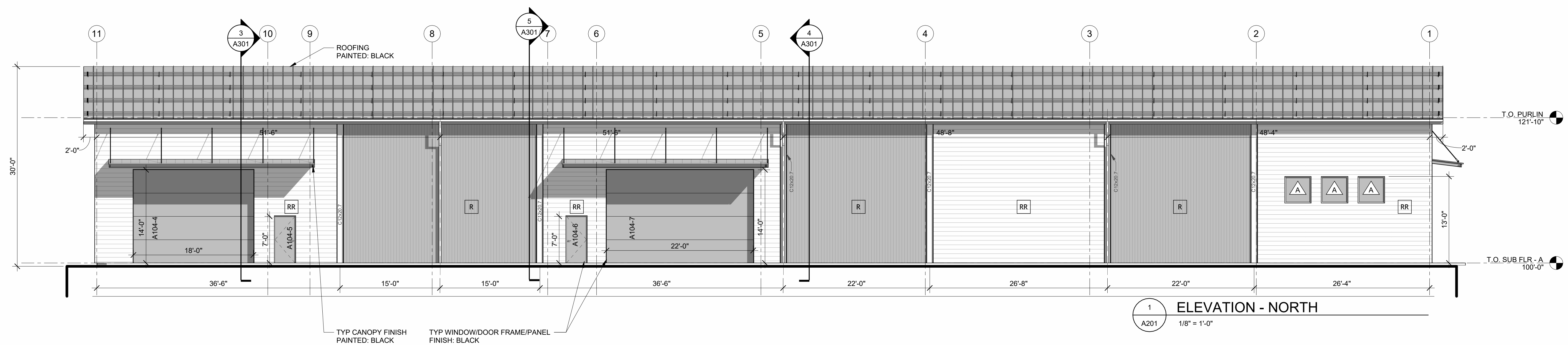
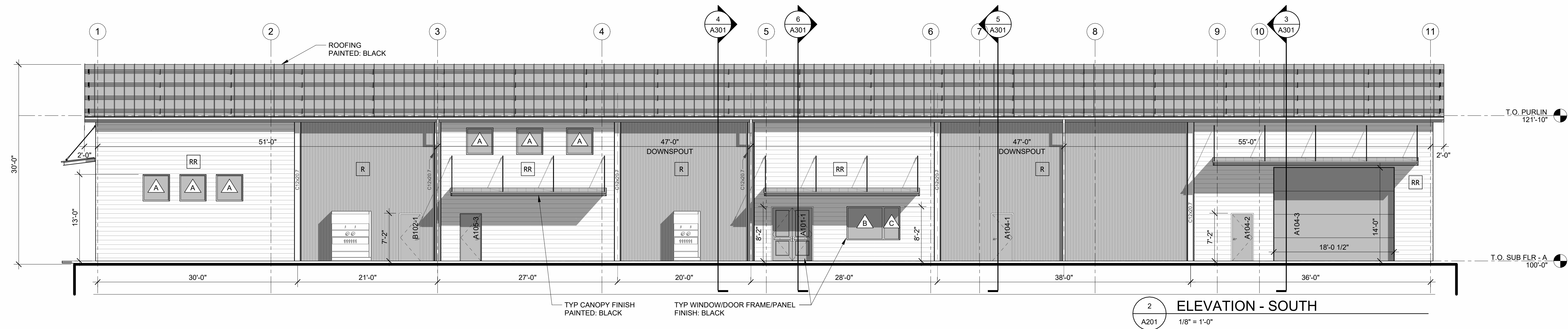
LOT 1 - WEST COMMERCIAL SUITES

DEAD HORSE MEADOWS ADDITION ALPINE, WY

UTILITY PLAN

SHEET #

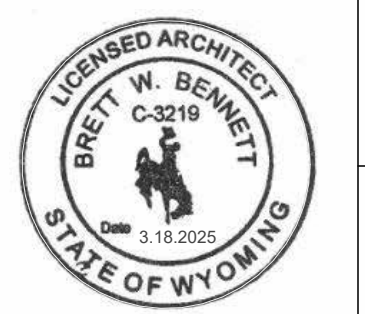
C2.1



EXTERIOR METAL SIDING PROFILE & COLOR LEGEND

- RR NUCOR REVERSE R-PANEL: CHARCOAL [HORIZONTAL INSTALL]
- R NUCOR R-PANEL: MIDNIGHT BLACK [VERTICAL INSTALL]

856 ELKHORN DRIVE, ALPINE, WY
LOT-1 - METAL AND FABRICATION SHOP: BUILDING - B
DEAD HORSE MEADOWS ADDITION

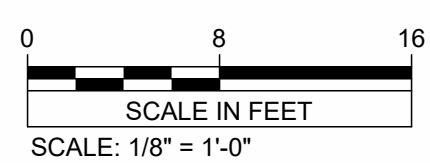


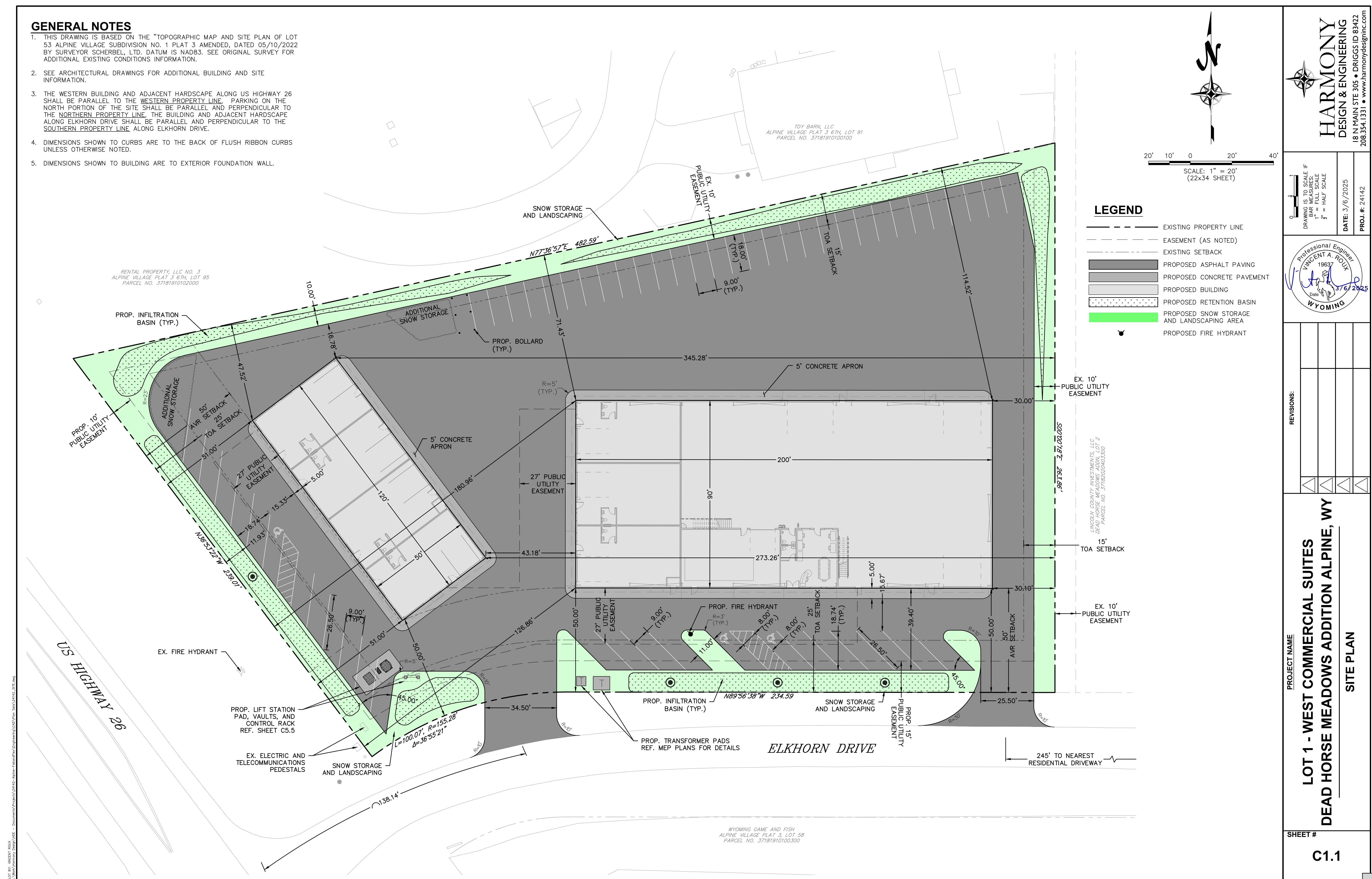
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REVISIONS

EXTERIOR
ELEVATIONS

A201

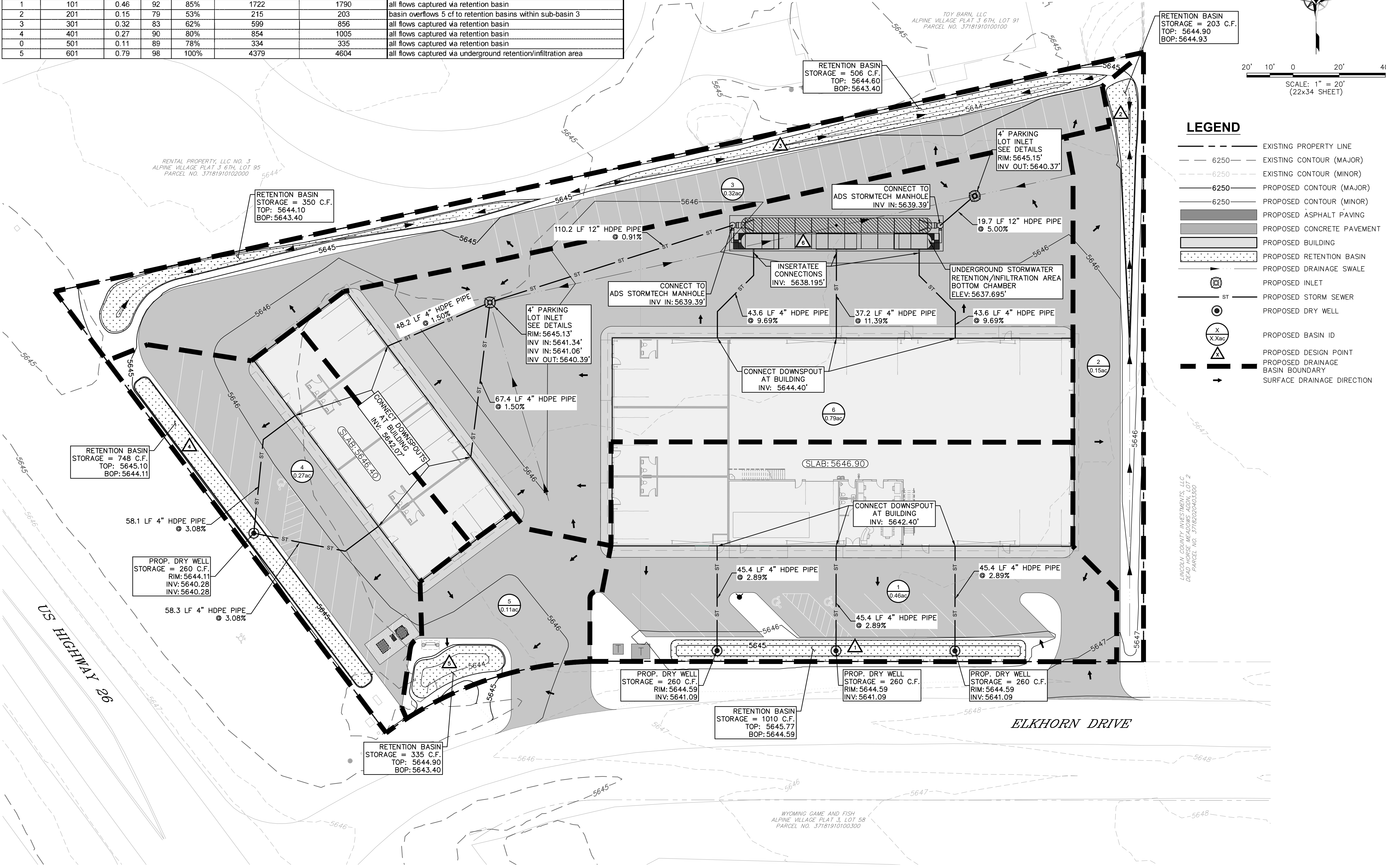




DRAINAGE SUMMARY TABLE							
	SUB-BASIN ATTRIBUTES				REQUIRED STORAGE	PROPOSED STORAGE	NOTES
Design Point	Tributary Sub-basin	Area (ac)	CN	% Imperious	V(10) (cf)	V(10) (cf)	
1	EX	2.09	30	0%	n/a	n/a	
1	101	0.46	92	85%	1722	1790	all flows captured via retention basin
2	201	0.15	79	53%	215	203	basin overflows 5 cf to retention basins within sub-basin 3
3	301	0.32	83	62%	599	856	all flows captured via retention basin
4	401	0.27	90	80%	854	1005	all flows captured via retention basin
0	501	0.11	98	78%	334	335	all flows captured via retention basin
5	601	0.79	99	100%	4379	4604	all flows captured via underground retention/infiltration area

GENERAL NOTES

1. STORM PIPE SHALL BE DUAL WALL CURROGATED HDPE, ADS N12 OR EQUAL



HARMONY
DESIGN & ENGINEERING

8 N MAIN STE 305 • DRIGGS ID 83422
208.354.1331 • www.harmonydesigninc.com

0 1
DRAWING IS TO SCALE IF
BAR MEASURES:
1" = FULL SCALE
1/2" = HALF SCALE

DATE: 3/6/2025

PROJ. #: 24142

[illegible]

PROJECT NAME
LOT 1 - WEST COMMERCIAL SUITES
DEAD HORSE MEADOWS ADDITION ALPINE, WY
STORMWATER MANAGEMENT PLAN

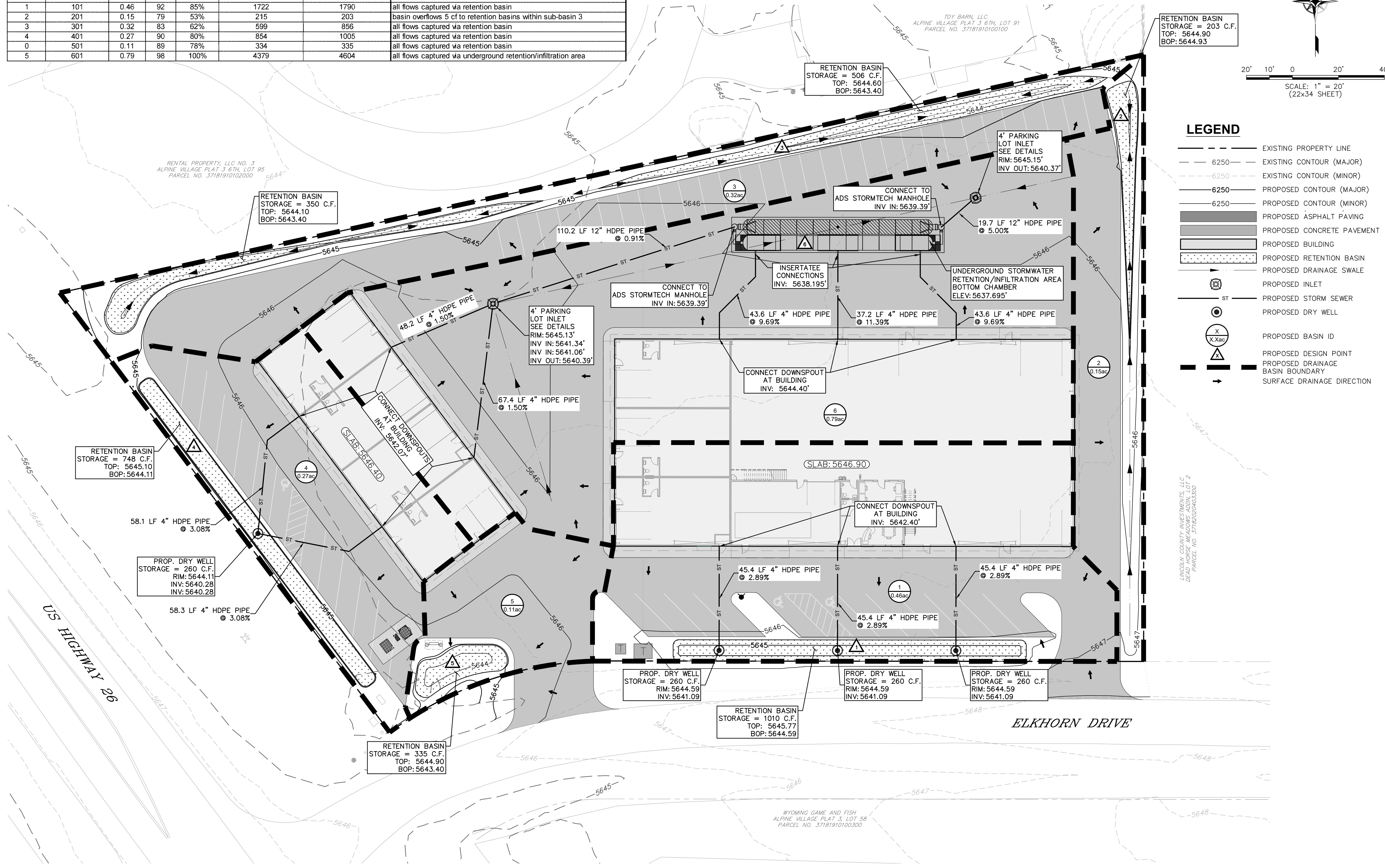
SHEET #

C4.1

DRAINAGE SUMMARY TABLE							
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Design Point	Tributary Sub-basin	Area (ac)	CN	% Impervious	V(10) (cf)	V(10) (cf)	
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GENERAL NOTES

- STORM PIPE SHALL BE DUAL WALL CURROGATED HDPE, ADS N12 OR EQUAL.



HARMONY DESIGN & ENGINEERING
18 N MAIN STE 305 • DRIGGS ID 84422
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DATE: 3/6/2025
PROJECT: 24142

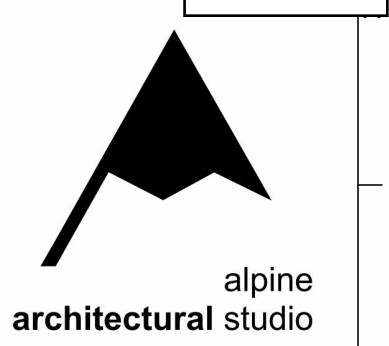
Professional Engineer
VINCENT A. ROX
19637
3/6/2025
WYOMING

PROJECT NAME
**LOT 1 - WEST COMMERCIAL SUITES
DEAD HORSE MEADOWS ADDITION ALPINE, WY**

STORMWATER MANAGEMENT PLAN

SHEET #
C4.1

16



PROJECT INFORMATION

DEAD HORSE LOT 1 (VACATED LOT 53)
TOWN OF ALPINE ZONING: MRC

GROSS LOT AREA: 2.10 ACRES / 91,562 SQFT
NET LOT AREA: 1.80 ACRES / 78,807 SQFT

LUDC 3-204.B: PERMITTED USES INCLUDES COMMERCIAL RETAIL STORES & COMMERCIAL OFFICES, WELDING & FABRICATION SHOPS.

LUDC 3-204.F: SETBACKS: FRONT - 25 FEET, SIDE - 15 FEET, REAR - 20 FEET
MAXIMUM BUILDING HEIGHT: 35 FEET

LUDC 3-204.G: COMMERCIAL BUILDING STRUCTURES IN THE "MRC" MIXED RESIDENTIAL AND COMMERCIAL DISTRICT CAN BE FORTY-FIVE (45) FEET OR LESS
REFER TO AVR DESIGN GUIDELINES / 35 FEET MAX

PARKING INFORMATION:

7 OFFICES/SHOP SUITES: (7) AT 1,500 SQFT GROSS EACH / 10,500 SQFT GROSS
TOTAL OFFICES/SHOP SQFT: 10,500
1 PARKING SPACE PER 400 SQFT FLOOR SPACE
10,500 SQFT / 400 SQFT = 27 PARKING SPACES
PARKING SPACES REQUIRED: 27
* INDICATES EMPLOYEE ONLY GARAGE PARKING SPACE

WELDING FABRICATION: 15,498 SQFT GROSS (INCLUDES 1,998 SQFT MEZZANINE)

1 PARKING SPACE EVERY 800 SQFT OF SHOP SPACE PLUS 1 PER EMPLOYEE

15,498 SQFT / 800 SQFT = 20 PARKING SPACES
PLUS 1 SPACE EA EMPLOYEE = 12 PARKING SPACES
PARKING SPACES REQUIRED: 32
* INDICATES EMPLOYEE ONLY GARAGE PARKING SPACE

TOTAL SITE PARKING REQUIRED: 59
TOTAL SITE PARKING PROVIDED: 64

SNOW STORAGE REQUIRED:

53,317 SQFT PARKING/DRIVE AREA X 0.20 = 10,663 SQFT SNOW STORAGE REQ'D
SNOW STORAGE PROVIDED: 15,586 SQFT (14,296 SQFT LANDSCAPED AREA + 1,290 SQFT ADDITIONAL SNOW STORAGE)

LANDSCAPED AREA PROVIDED: 14,296 SQFT
SITE LANDSCAPE PERCENTAGE: 14,296/91,562 = %15.6

SHADED GREEN AREA INDICATES SNOW STORAGE AND LANDSCAPED AREA:

ADDITIONAL SNOW STORAGE AREA:

TOWN OF ALPINE (TOA) SETBACKS:
TOA FRONT YARD: 25 FEET TOA SIDE YARD: 15 FEET TOA REAR YARD: 20 FEET
CORNER LOT CONDITION: (2) FRONT YARD & (2) SIDE YARD SETBACKS

SECTION 4-505. COMMERCIAL AND MIXED COMMERCIAL-RESIDENTIAL BUILDINGS
(2) PITCHED ROOFS WITHOUT A PARAPET WALL REQUIRE AN EIGHTEEN (18) INCH MINIMUM OVERHANG.
(3) SNOW LOAD: STRUCTURES SHALL BE ABLE TO SUPPORT A ROOF SNOW LOAD OF ONE HUNDRED (100) POUNDS PER SQUARE FOOT AND A GROUND SNOW LOAD OF ONE HUNDRED FORTY-THREE (143) POUNDS PER SQUARE FOOT.
(V) SEISMIC DESIGN: STRUCTURES SHALL BE DESIGNED TO SUPPORT "SITE CLASS "D" SEISMIC DESIGN.
(I) FROST DEPTH: STRUCTURES SHALL BE DESIGNED TO SUPPORT THIRTY-SIX (36) INCH FROST LINE DEPTH.

AVR DESIGN GUIDELINE & CC&R INFORMATION

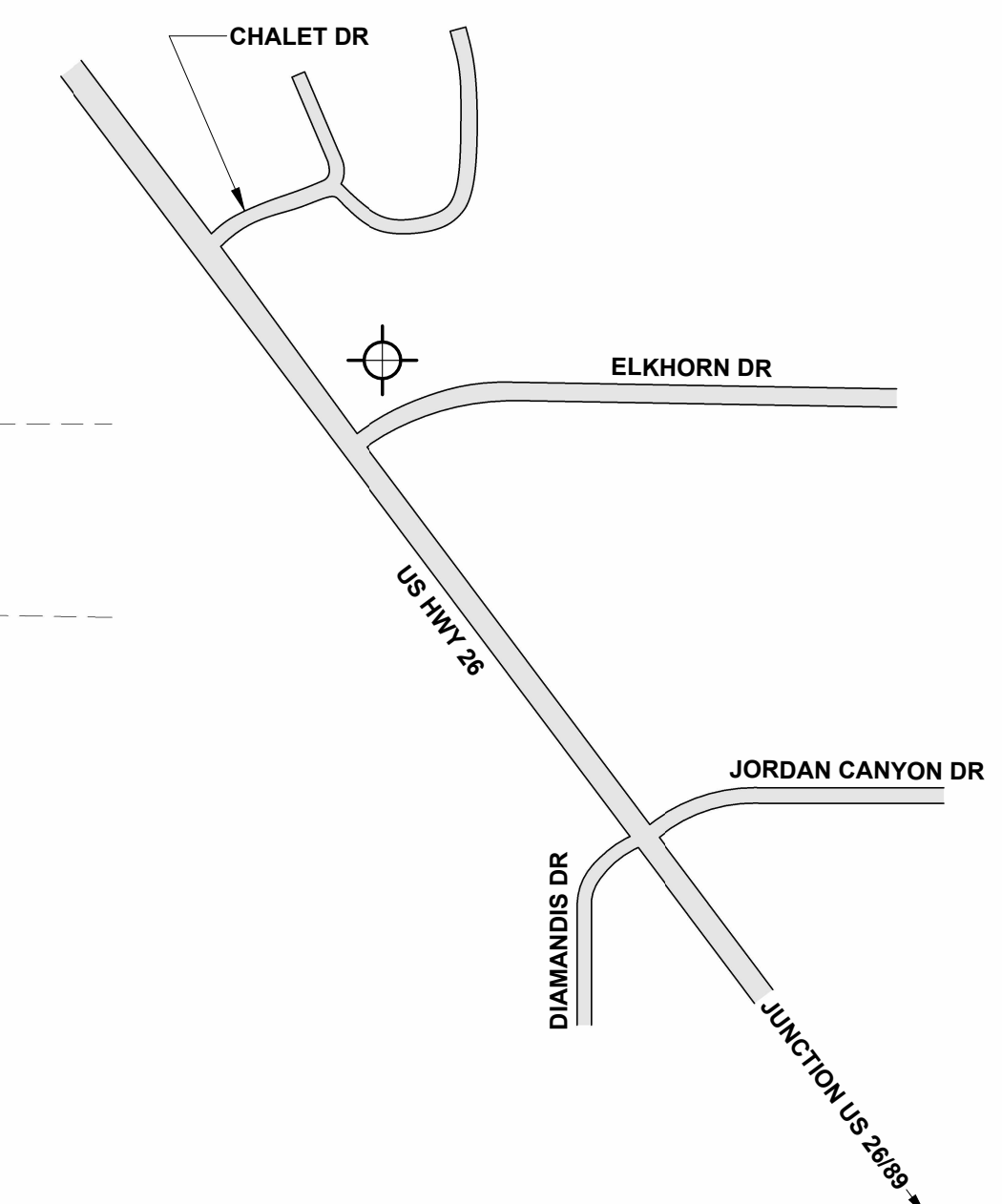
* DESIGN GUIDELINE 3.1.1 BUILDING HEIGHT AND FORM:
FOR SINGLE FAMILY LOTS NO BUILDING SHALL BE ERRECTED ON ANY LOT THAT EXCEEDS TWO AND ONE HALF STORIES IN HEIGHT ABOVE FINISHED GRADE. MULTIPLE FAMILY LOTS AND COMMERCIAL LOTS, NO BUILDING OR STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT TO A HEIGHT GREATER THAN THIRTY-FIVE FEET (35') FROM EXISTING GRADE WITHOUT THE WRITTEN APPROVAL OF THE ACC.

CC&R'S COMMERCIAL:
SETBACKS:
FRONT: 50 FEET STREET SIDE: FEET REAR: 15 FEET
LOT LINE ABUTTING DRAINAGE WAY: 20 FEET

NO BUILDINGS OR STRUCTURES SHALL BE CONSTRUCTED ON ANY LOT OR GROUP OF CONTIGUOUS LOTS THAT HAVE A COMBINED FLOOR AREA THAT EXCEEDS ONE (1) SQUARE FOOT FOR EACH TWO (2) SQUARE FEET OF PARKING AREA ON THAT LOT OR LOTS.

TOTAL PARKING AREA INCLUDING CIRCULATION: 53,317 SQFT
(53,317/2 = 26,658 SQFT ALLOWABLE FLOOR AREA)

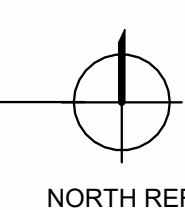
TOTAL COMBINED FLOOR AREA: 25,998 GROSS SQFT
(EAST BUILDING 19,998 GROSS SQFT)
(WEST BUILDING 6,000 GROSS SQFT)



VICINITY MAP: NTS

PROJECT LOCATION: NORTH REF

1 SITE PLAN
SP101 1" = 20'-0"



0 20 40
SCALE IN FEET
SCALE: 1" = 20'-0"

3/22/2025 7:31:44 PM | AAS # CH L1 SITE |

856 ELKHORN DRIVE, ALPINE, WY
LOT-1 (VACATED LOT 53)
DEAD HORSE MEADOWS ADDITION

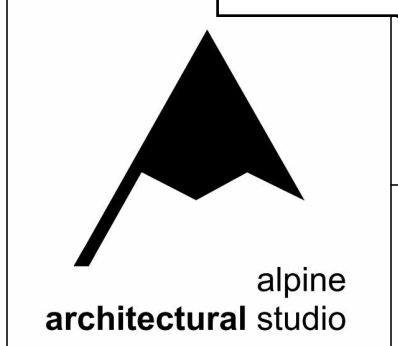


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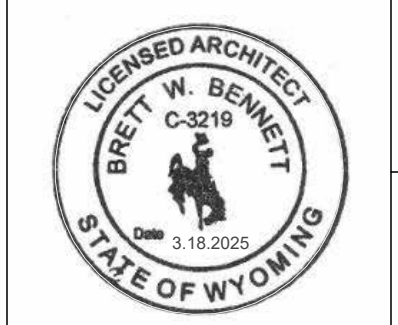
3/18/2025
DRAWN BY: BENNETT
CHECKED BY: BENNETT
REVISIONS

SITE PLAN

SP101



856 ELKHORN DRIVE, ALPINE, WY
LOT-1 WEST COMMERCIAL SUITES: BUILDING - A
DEAD HORSE MEADOWS ADDITION



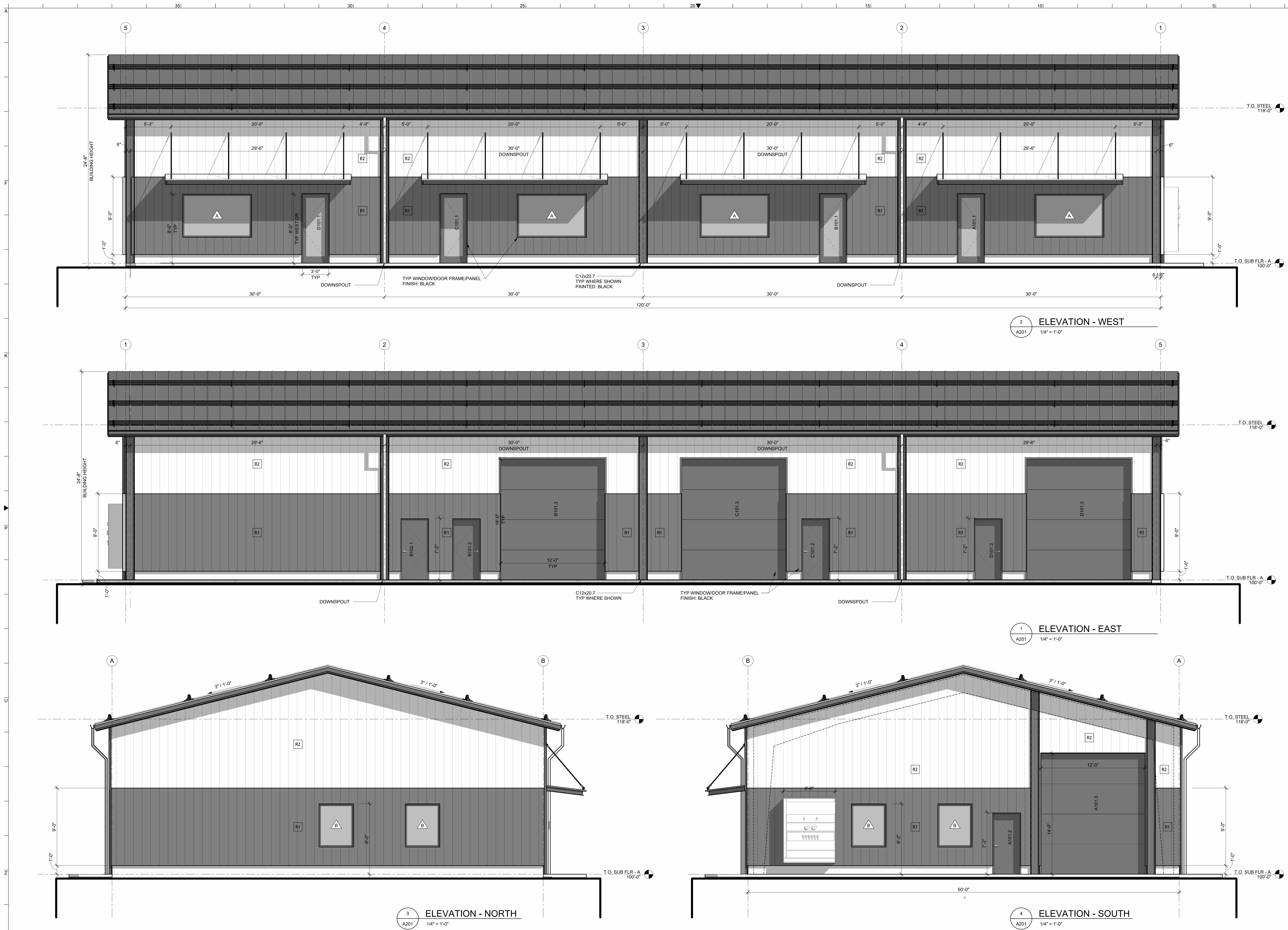
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3.18.2025
DRAWN BY | BENNETT
CHECKED BY | BENNETT
REVISIONS

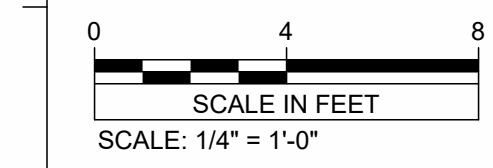
EXTERIOR
ELEVATIONS

A201



EXTERIOR METAL SIDING PROFILE & COLOR LEGEND

- | | |
|----|--|
| R1 | NUCOR REVERSE R-PANEL: MIDNIGHT BLACK [VERTICAL INSTALL] ALIGN RIBS WITH REVERSE R-PANEL ABOVE |
| R2 | NUCOR REVERSE R-PANEL: CHARCOAL [VERTICAL INSTALL] ALIGN RIBS WITH REVERSE R-PANEL BELOW |

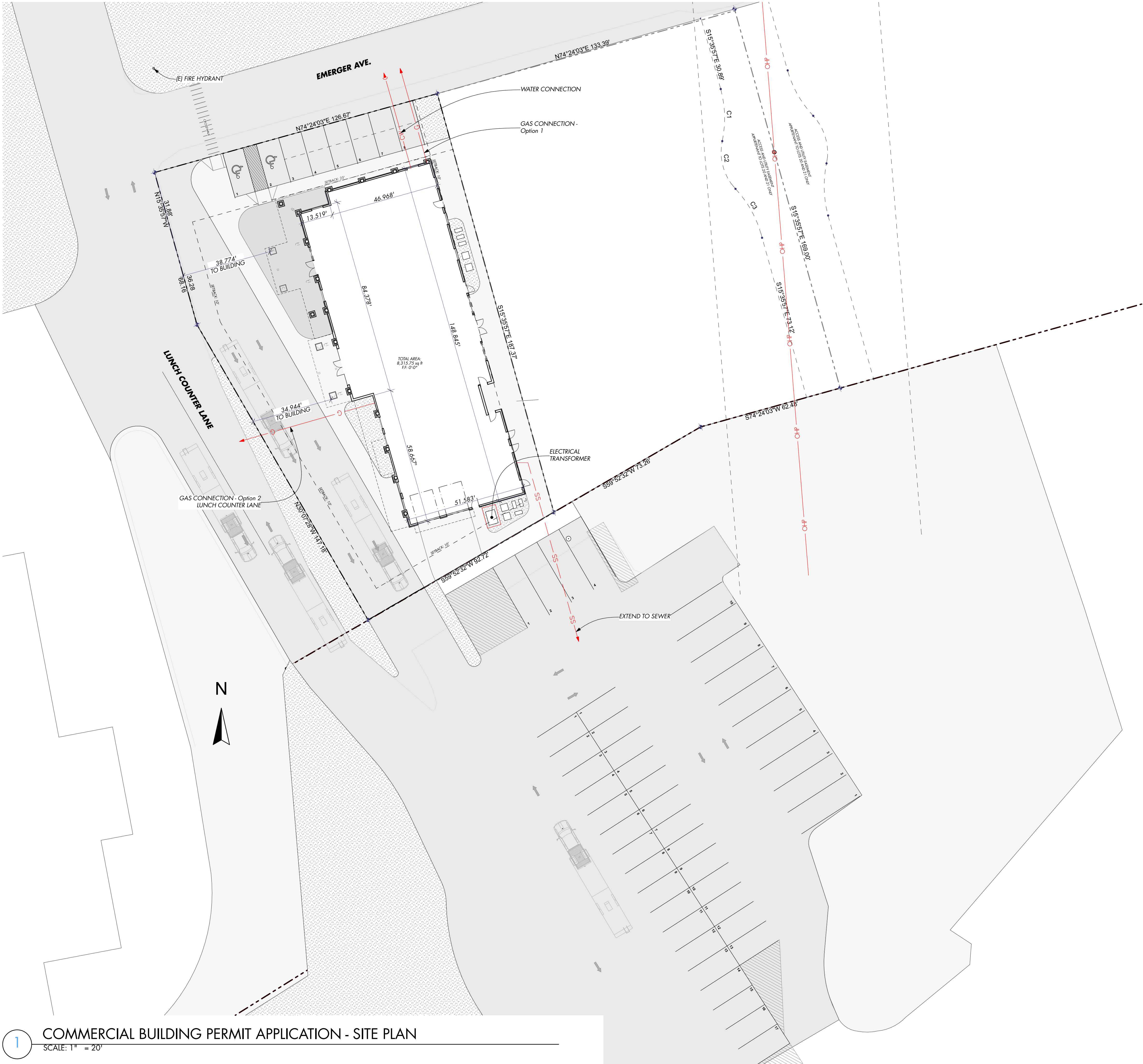


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1

COMMERCIAL BUILDING PERMIT APPLICATION - SITE PLAN

SCALE: 1" = 20'



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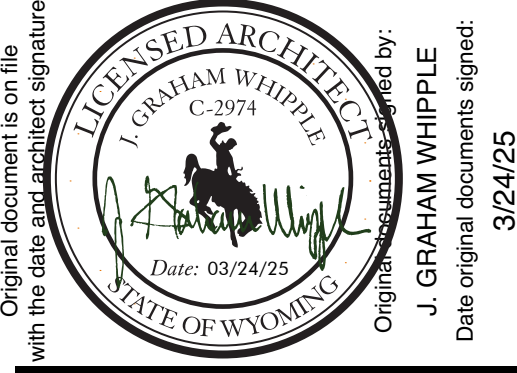
Lodge for Alpine Valley RV Resort
TBD Alpine, Wyoming, 83128

SITE ID	DATE	SITE PLAN APPROVAL	
		ID	DESCRIPTION

24063

ARCHITECTURAL SITE PLAN

AS-01



Original document is on file with the state and architect signature

Original prepared by:
J. GRAHAM WHIPPLE
Date original documents signed:
3/24/25

STRUCTURAL

MECHANICAL / PLUMBING

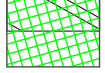



ELECTRICAL

CIVIL



305 1st STREET
IDAHO FALLS, ID 83401
PH: 208.757.5700



		LOT AREA:		
		BUILDING SITE:	23,006 s.f.	
		ADJACENT SITE:	719,409 s.f.	
			<u>REQ'D (20%)</u>	<u>PROVIDED</u>
			4,601	459 s.f.
LANDSCAPING & PERVIOUS		BUILDING SITE:		
		ADJACENT SITE:	143,882	419,055 s.f.
			<u>REQ'D (20%)</u>	<u>PROVIDED</u>
			4,601	459 s.f.
PAVED AREA		BUILDING SITE:	7,089 s.f.	
		ADJACENT SITE:	300,354 s.f.	
			<u>REQ'D (20%)</u>	<u>PROVIDED</u>
			1,418	459 s.f.
SNOW STORAGE		BUILDING SITE:	60,071	63,585 s.f.
		ADJACENT SITE:	61,489	64,044 s.f.
		TOTAL		
STORM DRAINAGE		SHARED STORM SWALE AREAS FOR LOTS 22 & 21		



Bud Chatham
Owner/President
Alpine On LLC
64 Lunch Counter Lane
Alpine, WY 83128
bud@davehansenwhitewater.com
503-887-6337
March 20, 2025

Christine Wagner - Town of Alpine Planning Department
250 River Circle
PO Box 3070
Alpine, WY 83128

Subject: Agreement to Comply with Parking, Landscape, Snow Storage, and Stormwater Plan

Dear Christine,

Alpine On, LLC, as the owner of Lots 21, 22, and 37, hereby agrees to develop and maintain a parking, landscape, snow storage, and stormwater plan that meets the conditions and requirements set forth by both the Snake River Junction Commercial Owners Association and the Town of Alpine.

For the proposed development on lot 22 these requirements will be shared with lot 37. Please refer to the site plan attached that will reference how we meet these conditions.

We acknowledge the importance of these plans in ensuring proper site management, environmental responsibility, and compliance with community standards. We committed to working with all relevant parties to develop a plan that satisfies these conditions and contributes to the overall functionality and aesthetics of the area.

Please let us know if any further documentation or coordination is needed to finalize this agreement.

Alpine On!



Minor Construction

Permit Application

Section 3, Itemd.

INFORMATION TO BE PROVIDED BY APPLICANT ~ ALL BLANKS MUST BE FILLED IN

PROJECT NAME: - Alpine Ace Hardware Greenhouse

Physical Address: 100 Grey's River Road ALPINE, WY 83128

Legal Description (Lot # and Subdivision): Lot # 603 - Redwood Estates

Detailed Description of Work to be Completed (Intent of Permit):
Green House for seasonal storage and growth of plants
for retail sale
Proposed installation date 4-10-25
Removal date 10-1-25

APPLICANT/CONTRACTOR/CONSULTANTS:

Owner: Robert Braulim **Phone:** 208-745-9201

Mailing Address: 160 S. Clark St - Rigby ID 83442

Contractor: ALPINE ACE EMPLOYEES **Phone:**

Mailing Address:

Electrical Contractor: **Phone:**

Mailing Address:

Plumbing Contractor: **Phone:**

Mailing Address:

Mechanical Contractor: **Phone:**

Mailing Address:

Authorized Representative if different from Owner: Gary Herrad

Signature of Owner or Authorized Representative: Gary Herrad **Date:** 4-3-25

FOR USE BY TOWN:

Date Received: 4/3/25 **Permit #:** 11C-0425-0001 **Use Zone:** Commercial

Permit Fees: \$750.00 **Payment: (Check#/Cash):** cash payment **Date Paid:** 4/3/25

TOWN OF ALPINE

MINOR CONSTRUCTION

CHECKLIST

Please place a check mark on all lined items and initial the bottom of all pages, as requested

- There will be NO guarantees of being on the following P & Z Agenda if...
 - o You wait until the deadline day for turning in your paperwork or;
 - o If your Minor Construction packet is not complete or;
 - o Your Review is found to be incomplete or not approved by the Town Building Official.

Owner: Robert Braulim Phone #'s: 208-745-9201

Lot#/Subdiv. # 603 Physical Address: 100 Gros River Rd

You may submit your Building Application Packet by: Mail: PO Box 3070, Alpine, WY 83128
 Person: 250 River Circle, Alpine, WY 83128

Please Complete:

- o ALL information is filled out and submitted as requested by the Town of Alpine
- o **ALL** Contractors/Subcontractors obtained a **Town of Alpine Business License**
- o Requested Water and Sewer Main Locates prior to ANY digging (Owner's Responsibility)
- o Requested all other utility (electrical, phone, cable, etc) lines located prior to ANY digging (Owner's Responsibility)
- o Must have written approval from Homeowner's Association on Building Plans (if Applicable)

The following items fall under a minor construction permit: (Please circle all items that apply to your application)

- Sheds which contain less than 300 sq. ft., of total floor area without Plumbing or Electrical; - (See Shed Affidavit)
- Sheds which contain more than 300 sq. ft., but less than 400 sq. ft., of total floor area with or without Plumbing or Electrical;
- Re-Roofing Applications:
 - o Replacement of existing roofing materials;
 - This could include any and all materials that increase or decrease existing roof load;
 - o Addition of roofing layers (Any and all materials that increase existing roof load);
 - o Change in under sheeting materials;
- Construction of Deck:
 - o Addition of stairs, dimensions and/or alterations to existing deck and/or building/structure
- Construction of perimeter fences - (See Fence Affidavit)
- Installation of new propane/gas storage tanks (including underground propane tanks)
- Plumbing Additions or Adjustments (improvements) to Commercial Buildings
- Electrical Additions or Adjustment (improvements) to Commercial Buildings
 - o Completed Plan Review Check List - (State Department of Fire Preventions & Electrical Safety)
- Replacing doors and/or windows when dimensions are increased in size and/or changes egress
 - o **Note - A Wyoming Certified Engineered Stamp Drawing will be required -**
- Utility Improvements and/or Changes - (ex. Wood to Gas, Electric to Propane, etc.) (See Stove Affidavit)
- Any Change in Building Occupancy.

Initials: 64H

Page 1

GETTING A MINOR CONSTRUCTION PERMIT:

- ☒ Minor Construction Permit Application Completed and Signed
 - ☒ Minor Construction Checklist Completed and Signed
 - ☒ Fees, which **MUST** be paid when submitting Minor Construction Permit Application:
- ***See Fee Schedule ** all fees are non refundable**

#3 - TOWN RESPONSIBILITIES:

- ☐ Town Building Official approves plans, by conducting a complete plan review
- ☐ Planning & Zoning Board approves Minor Construction Permit
- ☐ Planning & Zoning Commission verifies and approves the site plan in compliance with the adopted Land Use and Development Code Regulations

YOUR MINOR CONSTRUCTION PACKET MUST INCLUDE: (as applicable)**Site plan on two (2) foot by three (3) foot paper containing:**

- ☐ Blueprints (Drawings);
- ☐ Setback distances;
- ☐ Property Line & measurements according to surveyor's dimensions;
- ☐ Location & Dimensions of ALL buildings (home, garage, etc.), property lines, location of septic system, roads & easements;
- ☐ Detailed Utilities and Electrical Plan connections to the structure (water, sewer, power, telephone, propane tank, etc) (*Ensure they are not located underneath driveways)
- ☐ Detailed Roof Plan
- ☐ Building Material Used and Application of Material
- ☐ Installation Factor for Windows and Doors
- ☐ Sketch proposed fencing, square footage of driveways and/or parking spaces, square footage of landscaping (green space), and square footage of snow removal areas (if appropriate)
- ☐ Engineered Plans, Plan Calculations & Truss Calculation from a Wyoming Licensed Engineer
- ☐ Read Propane Tank Regulations (if applicable) Chapter 38 of IFC
- ☐ Application for State of Wyoming Department of Fire Prevention & Electrical Safety

CERTIFICATE OF COMPLETION:

Upon completion, please contact the Town Building Official to **schedule your final inspection** once completed and approved by the Town Building Official you will receive your Certificate of Completion via US mail.

***For more thorough information and instructions:**

Refer to the IBC/IRC and/or the Town of Alpine Land Use and Development Codes

Yes, I received and understand all items on the Permit Checklist

Signature

Date

FOR USE BY TOWN:

Received by:

Date:

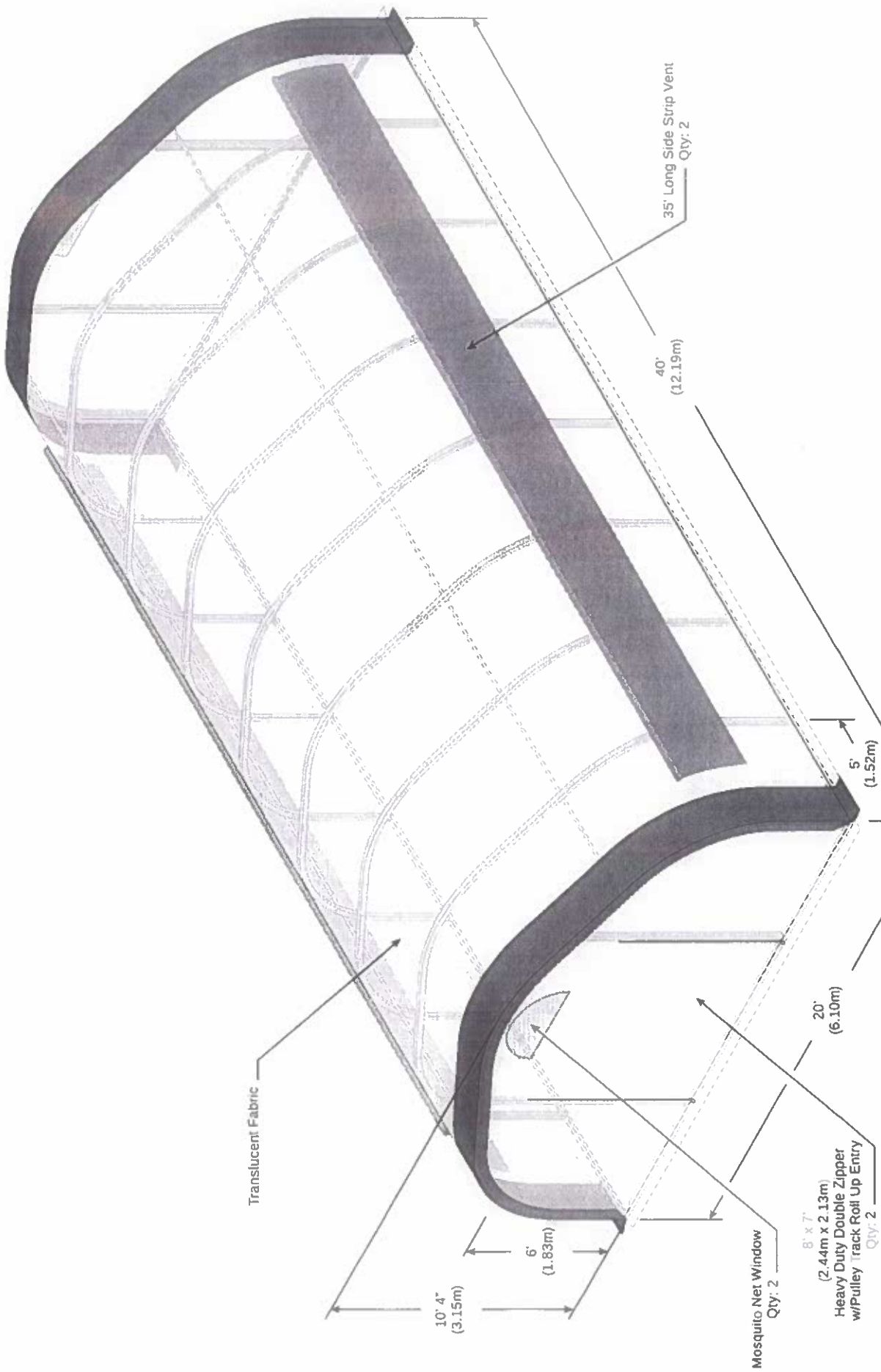
Initials:

Page 2

Alpine Ace Hardware

*100 Greys River Road
Alpine, Wyoming*





WeatherPort®

SHELTER SYSTEMS

PURCHASE AGREEMENT

This Purchase Agreement is entered into as of March 3, 2022

between

Buyer:

Alpine Ace Hardware
100 Greys River Rd.
Alpine, WY 83128
Attn: Ross Foster

and

Seller:

WeatherPort Shelter Systems,
a division of Alaska Structures, Inc.
1860 1600 Rd.
Delta, CO 81416

Buyer agrees to purchase the following described goods ("Goods") for the prices shown:

<u>Qty</u>	<u>Item</u>	<u>Unit Price</u>	<u>Total Price</u>
1	MODEL WP-2040-HGP: 20' Wide x 40' Long WeatherPort Gable Building with a 10'4" Peak Height, 6' Eave Including:	\$ 17,804.00	\$ 17,804.00
	(1) Powder Coated Steel Framing; Color: Gray		
	(2) Tensioned End Walls		
	(2) 8' Wide x 7' High Heavy Duty Double Zipper Utility Entry with Pulley Track System		
	(2) 35' Long Side Strip Vents		
	(2) Peak Fabric Windows with Screen		
	(1) Set of DB68 Earth Anchors		
	Anchor Package: Spikes		
	Color: Translucent with Green Contour Bands		
	Shall not be used in winds loads exceeding 121 mph gusts		
	Shall not be used in ground snow loads exceeding 37 psf		
1	Freight to Alpine, WY	\$ 1,284.00	\$ 1,284.00
	Total Price FOB Origin, Freight Included:		\$ 19,088.00

+1.970.399.5909 (phone) • +1.970.329.1045 (fax)

PROPRIETARY AND CONFIDENTIAL

This page contains WeatherPort Shelter Systems' Confidential Information. Any use or disclosure of this information is restricted.

This Purchase Agreement may only be accepted by Buyer returning a signed copy of this Purchase Agreement no later than March 31, 2022 ("Expiration Date"). After the Expiration Date, this proposed Purchase Agreement is no longer valid.

Delivery Date: TBD from Buyer's execution of this Purchase Agreement and Seller's receipt of downpayment.

IMPORTANT INSTRUCTION REGARDING LOAD LIMITS: Buyer understands that the Shelter is not to be used in certain weather conditions, including winds over 121 mph 3-second gust and/or ground snow loads over 37 psf which could result in dangerous conditions. Buyer agrees to discontinue use and disassemble the Shelter before Wind Conditions Exceed 121 mph 3-Second Gust and/or Ground Snow Loads exceed 37 psf. Buyer agrees to indemnify Seller against any injury, death, loss, or property damage of any kind resulting in whole or in part from Buyer's failure to comply with these requirements.

EXCLUSIONS/ASSUMPTIONS

- 1 FREIGHT IS INCLUDED. BUYER IS RESPONSIBLE FOR UNLOADING TRUCK.
- 2 INSTALLATION IS NOT INCLUDED.
- 3 STAMPED ENGINEERING AND PERMITTING IS NOT INCLUDED.
- 4 BUILDING FOUNDATION PREPARATION IS NOT INCLUDED.
- 5 ANY ITEM NOT LISTED IN THE QUOTATION ABOVE IS NOT INCLUDED.

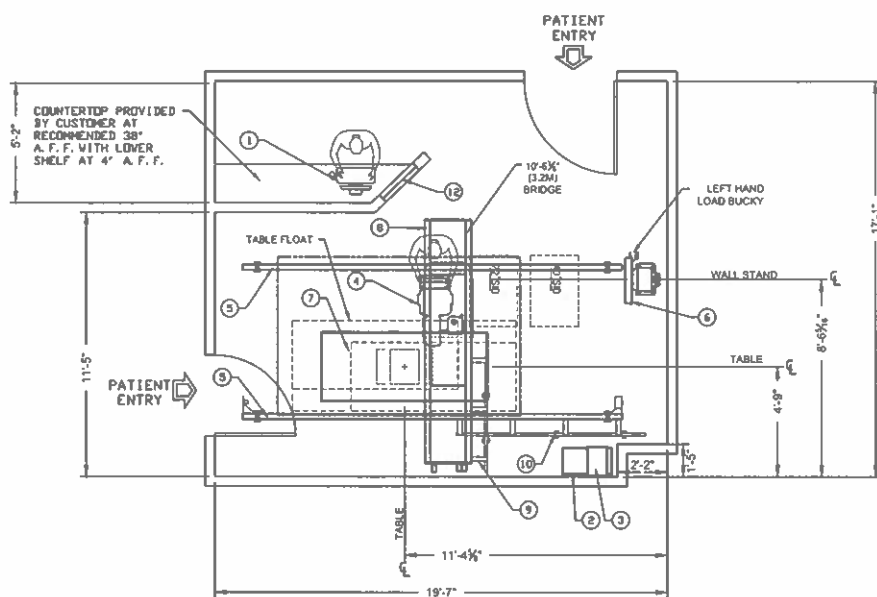
TURN-KEY MEDICAL, INC.

CARESTREAM DR-FIT CM TUBE
RADIOGRAPHIC ROOM

STAR VALLEY ALPINE CLINIC
ALPINE, WYOMING

STAR VALLEY ALPINE CLINIC
ALPINE, WYOMING

DATE: 8/15/2024	PROJECT: STAR VALLEY ALPINE CLINIC	<p>THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION AND SHALL NOT BE REUSED FOR PURPOSES OTHER THAN THOSE AGREED UPON BETWEEN TURKEY KEY MEDICAL AND ITS CUSTOMER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.</p>	TURKEY KEY MEDICAL, INC.	
SCALE: 1/8" = 1'-0"	OR-FIT CM X-RAY ROOM PLAN		REV. APPROVED BY: [Signature]	DATE: 8/15/2024
DRAWN BY: SFD	ALPINE, WYOMING		REV. APPROVED BY: [Signature]	DATE: 8/15/2024
PROJECT: FINAL	THESE DRAWINGS ARE FOR REVIEWING PURPOSES ONLY		REV. APPROVED BY: [Signature]	DATE: 8/15/2024
SHEET NO: COVER				



EQUIPMENT PLAN

EQUIPMENT LEGEND

ITEM	SUPPLIED/INSTALLED BY CARESTREAM HEALTH	BTU/hr lb	wt lb	W in	L in	H in
①	COMPUTER- HP ENGAGE FLEX PRO WITH HP E230T DISPLAY	-	14.2	13.3	15.1	4
②	CARESTREAM GENERATOR	1000	174	13.5	25.6	24.1
③	PDU- POWER DISTRIBUTION UNIT	-	-	10.4	26.8	5.75
④	OTC TUBE/COLLIMATOR ASSY	-	-	-	-	-
⑤	4M LONGITUDINAL RAIL	-	65	-	157	-
⑥	WALL STAND MANUAL NON-TILT	-	415	-	-	89
⑦	QT-750 ELEVATING TABLE	-	500	86	35.8	32.5
⑧	OTC BRIDGE	-	661	24	126.3	3.63
⑨	BRIDGE CABLE RAIL	-	-	-	59	-
⑩	LONGITUDINAL CABLE RAIL	-	-	-	98.5	-
⑪	DR LLI ROLLING STAND	-	178	47	30	75

NOTE: TOTAL OTC WEIGHT WITH RAILS IS 992 lbs

ITEM SUPPLIED/INSTALLED BY CUSTOMER OR CONTRACTOR

⑫ WINDOW - GLASS, LEAD LINED

COMPASS OTC SYS OPERATING ENVIRONMENT REQUIREMENTS
 AMBIENT TEMPERATURE: +10°C TO +40°C
 ATMOSPHERIC PRESSURE: 700 hPa to 1060 hPa

CEILING HEIGHT RANGE: 8'-10" TO 10'-0"
 THIS CEILING HEIGHT RANGE PROVIDES FULL FUNCTIONALITY OF THE CARESTREAM SYSTEM. ANY DEVIATION MUST BE DISCUSSED WITH THE CARESTREAM PROJECT MANAGER.
 EXISTING CEILING HEIGHT: X'-X" (X,Xm)

TURN-KEY MEDICAL, INC.	
DATE: 6/19/2024	SCALE: 1/8" = 1'-0"
PROJECT NO: 24-001	PROJECT NAME: STAR VALLEY ALPINE CLINIC DR-FIT CM X-RAY ROOM PLAN
DESIGNED BY: J. J. J.	CHECKED BY: J. J. J.
DRAWN BY: J. J. J.	APPROVED BY: J. J. J.

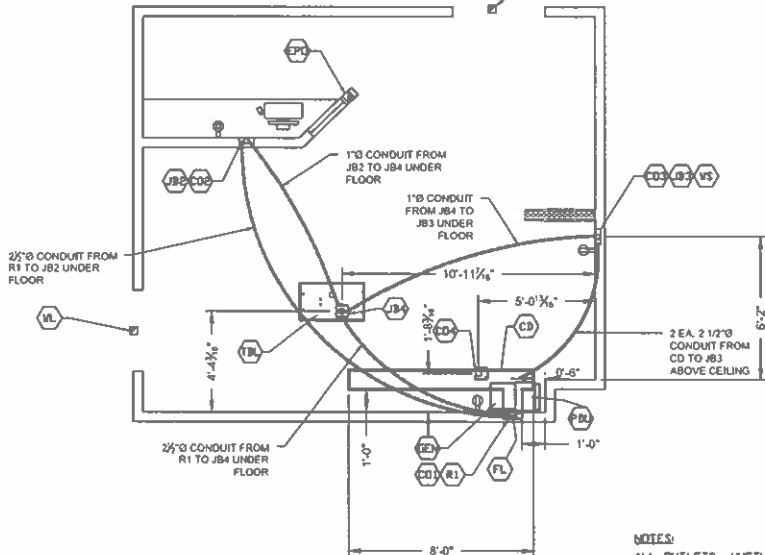
THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION AND SHALL NOT BE USED FOR PURPOSES OTHER THAN THOSE AGREED UPON BETWEEN TURN-KEY MEDICAL AND ITS CUSTOMER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

DATE: 6/19/2024	SCALE: 1/8" = 1'-0"
PROJECT NO: 24-001	PROJECT NAME: STAR VALLEY ALPINE CLINIC DR-FIT CM X-RAY ROOM PLAN

STAR VALLEY ALPINE CLINIC
 DR-FIT CM X-RAY ROOM PLAN
 ALPINE, WYOMING
 THESE DRAWINGS ARE FOR REVIEWING PURPOSES ONLY

DATE: 6/19/2024	SCALE: 1/8" = 1'-0"
PROJECT NO: 24-001	PROJECT NAME: STAR VALLEY ALPINE CLINIC DR-FIT CM X-RAY ROOM PLAN

A1



ELECTRICAL PLAN
ELECTRICAL INSTALLED BY CUSTOMER

NOTES

ALL OUTLETS, WHETHER DUPLEX OR QUAD, SHOWN ON CARESTREAM SITE SPECIFIC DRAWINGS, ARE EXCLUSIVELY FOR CARESTREAM EQUIPMENT. ANY CUSTOMER REQUIRED OUTLETS MUST BE APPROVED SEPARATELY.

ELECTRICAL LEGEN

ITEMS NOT SUPPLIED/INSTALLED BY CARESTREAM

Sym	SUPPLIED/INSTALLED BY CUSTOMER/CONTRACTOR
-----	---

R1 RISER- 10"x3 1/2" FLUSH MOUNTED WITH REMOVABLE COVERS FROM CD TO FINISHED FLOOR, PROVIDE DIVIDERS PER LOCAL CODE

 CUT OUT- 3"Ø WITH GROMMET IN COVER PLATE OF R1, 18" A.F.F.

CEILING DUCT- 10"x3 1/2" ABOVE FINISHED CEILING. WITH
REMOVABLE COVERS FACING UP, DIVIDERS PER LOCAL CODE
JUNCTION BOX- 8"x8" FLUSH MOUNTED IN CONTROL ROOM WALL
BOTTOM AT 14" A.F.F.

 CUT OUT- 2"Ø WITH GROMMET ON FACE PLATE OF

VS WALL STAND CABLE ENTRY

 JUNCTION BOX- 6"x6" FLUSH MOUNTED. BOTTOM AT 36" A.F.F.

STEP 10 CUT OUT 2"Ø WITH GROMMET ON FACE PLATE OF JB3

 CUT OUT- 3"Ø WITH GROMMET ON BOTTOM OF CD FOR OTC HOS BRACKET

 CARESTREAM TABLE BASE SHOWN FOR REFERENCE

 JUNCTION BOX- 6"x6" FLUSH MOUNTED IN FLOOR UNDER TABL

 GENERATOR. SEE POWER SPECIFICATIONS ON SHEET E

CUSTOMER PROVIDED 1½"Ø SEAL-TIGHT, INCLUDE FITTINGS FOR MAIN POWER TO CARESTREAM GENERATOR. WIP LENGTH PER LOCAL CODE. INSTALLED BY CUSTOMER ELECTRICIAN. SEE SHEET E2 FOR ELECTRICAL POWER REQUIREMENTS.

PDU | POWER DISTRIBUTION UN

WARNING LIGHT- OPTIONAL "X-RAY IN USE" LIGHT PER CODE, CUSTOMER TO PROVIDE FIXTURE AND 24V POWER / CONTACTS TO CSH GENERATOR. SEE SHEET E2 SCHEMATIC DIAGRAM.

EMERGENCY POWER OFF- OPTIONAL SWITCH TO CUSTOMER

SHUNT BREAKER IN MAIN DISCONNECT, EXACT LOCATION PER
LOCAL CODE OR BY CUSTOMER

120 VAC QUAD OUTLET, 14" A.F.F.

120 VAC DUPLEX OUTLET, 14" A.F.

△ NETWORK DROP, 14" A.F.F.

NOTE: ALL ELECTRICAL DUCTS AND CONNECTIONS MUST CONFORM TO THE N.E.C. CODES, IN ADDITION TO STATE AND LOCAL REGULATIONS FOR THE COUNTRY OR LOCALITY IN WHICH THE EQUIPMENT IS INSTALLED. SITE IS RESPONSIBLE TO DETERMINE ELECTRICAL DESIGN INCLUDING NUMBER OF DIVIDERS IN CABLE TROUGH PER CODE

PITZEN-KLEY MEDICAL, INC.

THIS DOCUMENT CONTAINS PROPRIETARY DATA OF TURN-KEY MEDICAL, INC. AND SHALL NOT BE USED FOR PURPOSES OTHER THAN THOSE AGREED UPON BETWEEN TURN-KEY MEDICAL AND ITS CUSTOMER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

STAR VALLEY ALPINE CLINIC DR-FIT CM X-RAY ROOM PLAN	ALPINE, WYOMING	THESE DRAWINGS ARE FOR REVIEWING PURPOSES ONLY
--	-----------------	---

PROJECT NO. **FINAL**

ELECTRICAL POWER REQUIREMENTS

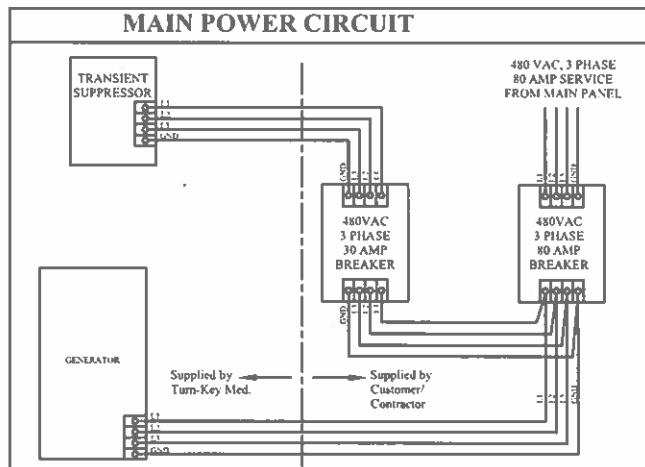
SYM	GENERATOR MODEL NO.	MAX POWER OUTPUT (kw)	NOMINAL LINE VOLTAGE (vac)	DISCONNECT TO GENERATOR 15ft (5m) MAX. (gwg)	MAIN DISCONNECT (AMPS)	RECOMMENDED DISTRIBUTION TRANSFORMER CAPACITY (kVA)	MAX INPUT LINE RESISTANCE AT FULL LOAD RMS (ohms)	PHASE
Q	QG-65G	65	480	#4	80	85	.21	3

NOTE: ALL INSTALLATIONS MUST MEET THE REQUIREMENTS OF LOCAL ELECTRICAL CODES. THE ABOVE VALUES ARE RECOMMENDED AS TYPICAL (UNLESS OTHERWISE SPECIFIED) LISTED ARE THE FOUR MAIN TYPICAL GENERATORS, OTHERS ARE AVAILABLE

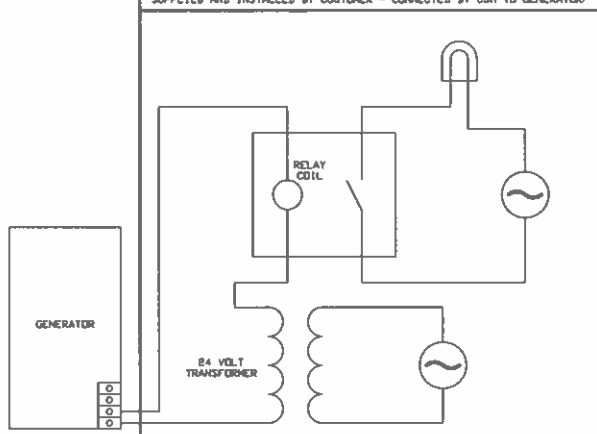
DESCRIPTION: SUPPLIED AND INSTALLED BY CUSTOMER'S CONTRACTOR

1. ALL WIRING AND GROUNDING MUST BE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE OR LOCAL ELECTRICAL CODES
2. INPUT VOLTAGE: 380-480 ($\pm 10\%$) VAC 50/60 Hz 3 PHASE WYE
3. LINE REGULATION: 5% AT FULL LOAD

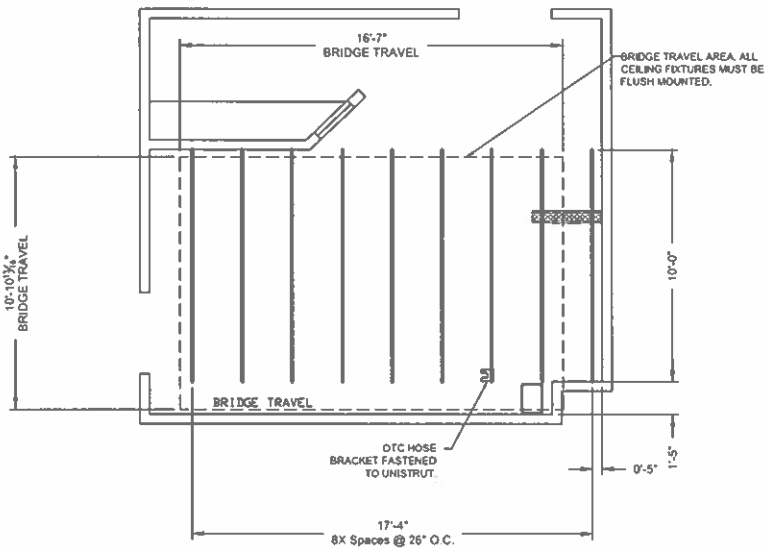
MAIN POWER CIRCUIT



WARNING LIGHT 'X-RAY IN USE' WIRING DIAGRAM SUPPLIED AND INSTALLED BY CUSTOMER - CONNECTED BY CSH TO GENERATOR



TURN KEY MEDICAL, INC.	
DATE: 10/1/2010	BY: J. J. J.
PROJECT: DR-FIT CM X-RAY ROOM PLAN	REV: 01
LOCATION: ALPINE, WYOMING	DATE: 10/1/2010
THIS DOCUMENT CONTAINS PROPRIETARY DATA OF TURN KEY MEDICAL, INC. AND SHALL NOT BE USED FOR PURPOSES OTHER THAN THE PROJECT SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF TURN KEY MEDICAL, INC. IS PROHIBITED. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.	
STAR VALLEY ALPINE CLINIC DR-FIT CM X-RAY ROOM PLAN	ALPINE, WYOMING
DATE: 10/1/2010	BY: J. J. J.
PROJECT: DR-FIT CM X-RAY ROOM PLAN	REV: 01
LOCATION: ALPINE, WYOMING	DATE: 10/1/2010
THESE DRAWINGS ARE FOR REVIEWING PURPOSES ONLY	
DATE: 10/1/2010	BY: J. J. J.
PROJECT: DR-FIT CM X-RAY ROOM PLAN	REV: 01
LOCATION: ALPINE, WYOMING	DATE: 10/1/2010
FINAL	
SHEET NO:	E2



UNISTRUT PLAN
UNISTRUT INSTALLED BY CUSTOMER
(FOR CEILING RESTRICTED AREAS SEE SHEET S2)

STRUCTURAL LEGEND

ITEM	COMPONENT DESCRIPTION: SUPPLIED AND INSTALLED BY CUSTOMER/CONTRACTOR
—	NEW UNISTRUT: FLUSH MOUNTED WITH FINISHED CEILING. UNISTRUT P1001 SERIES OR EQUIVALENT REQUIRED.
----	EXISTING UNISTRUT: FLUSH MOUNTED WITH FINISHED CEILING. UNISTRUT P1000 SERIES OR EQUIVALENT REQUIRED.

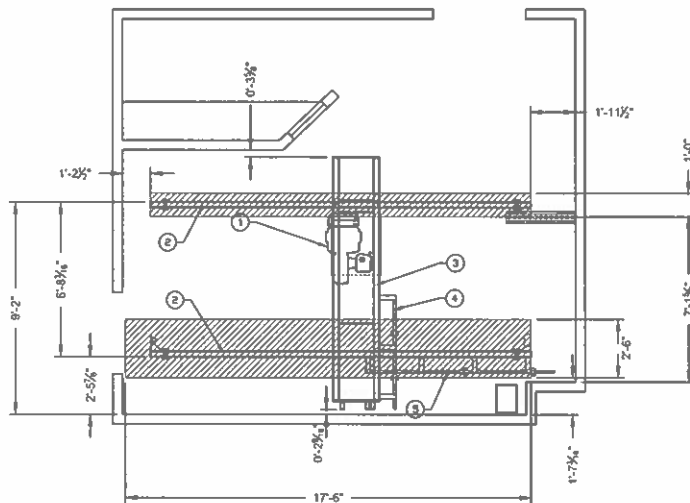
GENERAL NOTES

1. REGULAR CEILING TILES MUST BE FLUSH WITH UNDERSIDE OF UNISTRUT.

STRUCTURAL NOTES

1. THE FACILITY STRUCTURE SUPPORTING ALL EQUIPMENT LOADS MUST BE VERIFIED BY CUSTOMER'S STRUCTURAL ENGINEER OF RECORD. THIS INCLUDES LOADS FOR WALL, CEILING AND FLOOR.
2. SUPPORT STRUCTURE/UNISTRUT MUST BE LEVELED AT FINISHED CEILING HEIGHT WITHIN 0.039 INCH (1.000 MM).
3. RECOMMENDED CEILING SUPPORT LOADING WEIGHT IS 2204 lbs
4. SEE SPECIFICATION AX0249 FOR ADDITIONAL STRUCTURAL INFORMATION.

TURKEY MEDICAL, INC.		DATE: 8/19/2024	SCALE: 1/4" = 1'-0"	PROJECT NO: 24-0000	SHEET NO: 51
THIS DOCUMENT CONTAINS PROPRIETARY DATA OF TURKEY MEDICAL, INC. AND SHALL NOT BE USED FOR PURPOSES OTHER THAN THOSE AGREED UPON BY THE USER. ANY REUSE OR MODIFICATION OF THIS DRAWING IS TO BE USED FOR CONSTRUCTION PURPOSES.		STAR VALLEY ALPINE CLINIC OR-FIT CM X-RAY ROOM PLAN ALPINE, WYOMING THESE DRAWINGS ARE FOR REVIEWING PURPOSES ONLY			
DATE: 8/19/2024		SCALE: 1/4" = 1'-0"	PROJECT NO: 24-0000	SHEET NO: 51	
PROJECT NO: 24-0000		FINAL			



CEILING PLAN
EQUIPMENT INSTALLED BY CSH

STRUCTURAL LEGEND

ITEM	SUPPLIED/INSTALLED BY CARESTREAM HEALTH INC.
①	COMPASS OTC TUBE
②	OTC CEILING RAIL
③	OTC BRIDGE
④	BRIDGE CABLE RAIL
⑤	LONGITUDINAL CABLE RAIL

 RESTRICTED CEILING AREA FOR CARESTREAM EQUIPMENT. NO CEILING MOUNTED FIXTURES, INCLUDING HVAC, LIGHTING AND SPRINKLERS.

GENERAL NOTES

1. REFLECTED CEILING PLAN REFERENCES LOCATION OF THE CARESTREAM CEILING MOUNTED EQUIPMENT NOT TO INTERFERE WITH LIGHTS, DIFFUSERS AND SPRINKLER HEADS.

TURKEY MEDICAL INC.

THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION. IT IS THE PROPERTY OF TURKEY MEDICAL INC. AND SHALL NOT BE USED FOR PURPOSES OTHER THAN THOSE AGREED UPON BETWEEN TURKEY MEDICAL AND ITS CUSTOMER. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

STAR VALLEY ALPINE CLINIC
OR-FIT CM X-RAY ROOM PLAN
ALPINE, WYOMING

THESE DRAWINGS ARE FOR REVIEWING PURPOSES ONLY

DATE: 6/15/2024
SCALE: 3/8" = 1'-0"
PROJECT NO: 2024-001
SHEET NO: S2
FINAL

**Minor Construction****Permit Application**

INFORMATION TO BE PROVIDED BY APPLICANT ~ ALL BLANKS MUST BE FILLED IN

PROJECT NAME: *Alpine Clinic X-Ray Room Remodel*Physical Address: *37 Wintergreen Drive, Alpine, WY 83128*Legal Description (Lot # and Subdivision): *Alpine Meadows Lot 18A*Estimated Valuation of Work: *\$ 166,137.00*Description (Intent of Permit): *Remodel existing x-ray room to install new x-ray unit.***APPLICANT/CONTRACTOR/CONSULTANTS:**

Owner:	<i>North Lincoln County Hospital / Dist. DBA SV Health</i>	Phone:	<i>307-885-5887</i>
Mailing Address:	<i>PO Box 579 Afton, WY 83110</i>		
Contractor:	<i>General Contractor / SV Health - Bob Choma</i>	Phone:	<i>307-413-7842</i>
Mailing Address:	<i>PO Box 579, Afton WY 83110</i>		
Electrical Contractor:	<i>On Point Electric</i>	Phone:	<i>307-699-3718</i>
Mailing Address:	<i>Box 10193 Jackson WY 83001</i>		
Plumbing Contractor:	<i>N/A</i>	Phone:	
Mailing Address:			
Mechanical Contractor:	<i>N/A</i>	Phone:	
Mailing Address:			
Authorized Representative if different from Owner:	<i>Michael Hunsaker, SR. VP</i>		
Signature of Owner or Authorized Representative:	<i>[Signature]</i>		Date: <i>3-10-25</i>

FOR USE BY TOWN:

Date Received:	Permit #:	Use Zone:
<i>3/10/2025</i>	<i>11C-01-25</i>	<i>MC</i>
Permit Fees:	Paid Fees: (Check# / Cash)	Date Paid:
<i>\$7500</i>	<i># 107460</i>	<i>3/10/2025</i>

TOWN OF ALPINE

MINOR CONSTRUCTION

CHECKLIST

Please place a check mark on all lined items and initial the bottom of all pages, as requested

There will be NO guarantees of being on the following P & Z Agenda if...

- You wait until the deadline day for turning in your paperwork or;
- If your Minor Construction packet is not complete or;
- Your Review is found to be incomplete or not approved by the Town Building Official.

Owner: NKCHD dba Star Valley Health Phone #'s: 307-885-6887

Lot#/Subdiv. Alpine Meadows Lot 180 Physical Address: 32 Wintergreen Drive

You may submit your Building Application Packet by: Mail: PO Box 3070, Alpine, WY 83128
Person: 250 River Circle, Alpine, WY 83128

Please Complete:

- ALL information is filled out and submitted as requested by the Town of Alpine
- ALL Contractors/Subcontractors obtained a Town of Alpine Business License
- Requested Water and Sewer Main Locates prior to ANY digging (Owner's Responsibility)
- Requested all other utility(electrical, phone, cable, etc) lines located prior to ANY digging (Owner's Responsibility)
- Must have written approval from Homeowner's Association on Building Plans (if Applicable)

The following items fall under a minor construction permit: (Please circle which one(s) applies to your application)

- Sheds which contain less than 300 sq. ft., of total floor area without Plumbing or Electrical; - (See Shed Affidavit)
- Sheds which contain more than 300 sq. ft., but less than 400 sq. ft., of total floor area with or without Plumbing or Electrical;
- Re-Roofing Applications:
 - Replacement of existing roofing materials;
 - This could include any and all materials that increase or decrease existing roof load;
 - Addition of roofing layers (Any and all materials that increase existing roof load);
 - Change in under sheeting materials;
- Construction of Deck - (See Deck Affidavit)
 - Addition of stair, dimensions and/or alterations to existing deck and/or building/structure
- Construction of perimeter fences - (See Fence Affidavit)
- Installation of new propane/gas storage tanks (including underground propane tanks)
- Plumbing Additions or Adjustments (improvements) to Commercial Buildings
- Electrical Additions or Adjustment (improvements) to Commercial Buildings
 - Completed Plan Review Check List - (State Department of Fire Preventions & Electrical Safety)
- Replacing doors and/or windows when dimensions are increased in size and/or changes egress
 - Note - A Wyoming Certified Engineered Stamp Drawing will be required -
- Utility Improvements and/or Changes - (ex. Wood to Gas, Electric to Propane, etc.) (See Stove Affidavit)

GETTING A MINOR CONSTRUCTION PERMIT:

 Minor Construction Permit Application Completed and Signed

Initials:

Page 1

- ☒ Minor Construction Checklist Completed and Signed
☒ Fees, which **MUST** be paid when submitting Minor Construction Permit Application:
****See Fee Schedule ** all fees are non refundable**
☒ Site Preparation is Complete (Property Corners Identified and Clearly Marked) {If Applicable}

#3 - TOWN RESPONSIBILITIES:

- ☐ Town Building Official approves plans, by conducting a complete plan review;
☐ Planning & Zoning Board approves Minor Construction Permit.
☐ Town Building Official verifies and approves the site plan by conducting an on-site inspection;

YOUR MINOR CONSTRUCTION PACKET MUST INCLUDE: (as applicable)Site plan on **11 x 17** paper containing:

- ☒ Blueprints (Drawings);
☒ Setback distances;
☒ Property Line & measurements according to surveyor's dimensions;
☒ Location & Dimensions of ALL buildings (home, garage, etc.), property lines, location of septic system, roads & easements;
☒ Detailed Utilities and Electrical Plan connections to the structure (water, sewer, power, telephone, propane tank, etc) (*Ensure they are not located underneath driveways)
☒ Detailed Roof Plan
☒ Building Material Used and Application of Material
☒ Installation Factor for Windows and Doors
☒ Sketch proposed fencing, driveways, green space, and snow removal areas (if appropriate)
☒ Engineered Plans, Plan Calculations & Truss Calculation from a Wyoming Licensed Engineer
☒ Read Propane Tank Regulations (if applicable) Chapter 38 of IFC
☒ Application for State of Wyoming Department of Fire Prevention & Electrical Safety

ON-SITE SETBACK INSPECTION: (as applicable)

- ☒ Clearly string & stake the EXACT dimensions of where the proposed project is (*Dimensions on the ground **MUST MATCH** your 11 x 17 Site Plan);
☒ Property stakes: All property monuments/surveyor pins must be exposed and visible.
**Wooden stakes without Surveyors Monuments will not be accepted.*

CERTIFICATE OF COMPLETION:

Upon completion; please contact the Town Office to **schedule a final inspection** once completed and approved by the Town Building Official you will receive your Certificate of Completion

***For more thorough information and instructions:**

Refer to the IBC/IRC and/or the Town of Alpine Land Use and Development Codes

Yes, I received and understand all items on the Permit Checklist

Signature

Date

FOR USE BY TOWN:

Received by:

Date:

Initials:

Page 2



Aging Division
Healthcare Licensing and Surveys
Hathaway Building, Suite 510
2300 Capitol Avenue
Cheyenne, WY 82002
(307) 777-7123 • Fax (307) 777-7127
www.health.wyo.gov

Section 4, Itema.



Stefan Johansson
Director

Mark Gordon
Governor

September 12, 2024

Ref: PD-2024-0892
Project: 2024-065

Scott Graham, CFO
Star Valley Health
901 Adams St.
Afton, WY 83110
sgarvin@starvalleyhealth.org

Dear Mr. Graham:

Modification Radiology Room

Thank you for submitting the preliminary project plans for the above-referenced project. We have conducted an electronic review of your project documents. Due to the nature and scope of the project, the final plan submission has been waived. Your plans have been stamped: **"REVIEWED AND ACCEPTED"**.

This plan acceptance fulfills the requirements of Section 6 of the *State of Wyoming Department of Health Construction Rules and Regulations for Healthcare Facilities*, effective 4/3/08. **However, it does not grant authority to proceed with the construction of the project.** Wyoming Statute 35-9-121.1(a) delegates "jurisdiction over all aspects of construction and remodeling, except electrical installation, of any state licensed health care facility" to the Department of Health. Therefore, this office requires final plan approval by each AHJ listed in the Plan Reviews column of the chart below in order to grant authority to proceed with construction. It is your or your representative's responsibility to forward to HLS an electronic copy of evidence of final plans approval by each AHJ other than HLS. **Specifically, we have not received evidence of approval from the WY Department of Fire Prevention and Electrical Safety.** Additionally, since this project contains demolition/renovation work, proof of compliance with Wyoming Department of Environmental Quality Air Quality Division (WDEQ-AQD) Asbestos Program will be required. Such proof may be an electronic copy of correspondence with WDEQ-AQD. Please submit this information to plans-ohls@wyo.gov.

Please ensure all comments on the reviewed plans are accounted for in construction. Construction must incorporate the requirements appropriate to the scope and nature of your project found in the following codes and standards:

September 12, 2024
 Scott Graham, CFO
 Ref: PD-2024-0892
 Page 2 of 3

Critical Access Hospitals

No.	Regulation, Code, or Standard	Authority Having Jurisdiction (AHJ)	
		Final Plan Reviews	Inspections
1.	Code of Federal Regulations 42 CFR 485.623 Condition of Participation: Physical Environment.	HLS	HLS
2.	State of Wyoming Department of Health Chapter 17 Rules and Regulations for Licensure of Critical Access Hospitals, effective 11/4/2004.	HLS	HLS
3.	State of Wyoming Department of Health Construction Rules and Regulations for Healthcare Facilities, effective 4/3/2008.	HLS	HLS
4.	NFPA (National Fire Protection Association) 101, Life Safety Code 2006 Edition, in its entirety as appropriate for state licensed healthcare facilities. In addition, those healthcare facilities seeking participation in the Medicare and Medicaid programs must comply with the Life Safety Code 2012 Edition.	HLS	HLS
5.	NFPA 99, Standards for Health Care Facilities, 2005 Edition.	HLS	HLS
6.	FGI Guidelines for Design and Construction of Health Care Facilities, 2006 Edition.	HLS	HLS
7.	International Building Code 2006.	HLS	HLS
8.	International Fire Code 2006.	HLS	HLS
9.	International Fuel Gas Code 2006.	HLS	HLS
10.	International Mechanical Code 2006.	HLS	HLS
11.	International Plumbing Code 2006.	HLS	HLS
12.	NFPA 70, National Electrical Code, 2020 Edition. Electrical installations are to be in accordance with W.S. 35-9-119 including plan reviews and inspections.	DFPES	DFPES
13.	State of Wyoming Department of Environmental Quality Air Quality Division Standards and Regulations, Chapter 3, Section 8. Emission standards of asbestos for demolition, renovation, manufacturing, spraying and fabricating.	Not Applicable	WDEQ-AQD
Where discrepancies occur between any of the listed Regulations, Codes, and Standards, the most stringent shall apply. HLS retains authority to conduct the final inspection for licensure per State of Wyoming Department of Health Chapter 20 Rules and Regulations for Health Care Facilities Jurisdiction and Delegation, Section 4(a)(v).			

AHJ Legend:

HLS: Wyoming Dept. of Health, Aging Division, Healthcare Licensing & Surveys, (307) 777-7123.
 WDEQ-AQD: Wyoming Dept. of Environmental Quality, Air Quality Division (307) 777-7394.
 DFPES: Wyoming Dept. of Fire Prevention and Electrical Safety, (307) 777-7288.

September 12, 2024
Scott Graham, CFO
Ref: PD-2024-0892
Page 3 of 3

Any changes, modifications, or alterations of these plans and specifications must be reviewed and accepted by this office, and all work must be done in accordance with the accepted plans. A set of the accepted plans and specifications must be kept at the site of work and open to review by our engineers.

This plan acceptance shall become invalid if construction does not commence within 180 days from the date on this letter. In addition, your plans acceptance will become invalid if construction is suspended or abandoned for a period of 180 consecutive days. If necessary, the owner may submit a written request for one or more extensions of time for periods not to exceed 180 days each.

All forms can be found at: <https://health.wyo.gov/aging/hls/healthcare-facility-construction/>

For assistance concerning this project, please contact the Life Safety and Construction Branch of our office at (307) 777-7123 or plans-ohls@wyo.gov. You may also visit our webpage at <https://health.wyo.gov/aging/hls/healthcare-facility-construction/> for further information.

Sincerely,



Patrick Davis, PE, LEED AP
Chief, Life Safety and Construction Branch
Healthcare Licensing and Surveys

PD/bl

Attachment: Electronic copy of reviewed plans

c: Tim Duhr, Project Architect, Erdman, tduhr@erdman.com
Mike Hunsaker, COO, Star Valley Health, mhunsaker@starvalleyhealth.org
Byron Mathews, State Fire Marshal, Dept. of Fire Prev. & Elect. Safety, byron.mathews@wyo.gov
Jacob Ojeda, Asbestos Inspector, Air Quality Division, jacob.ojeda@wyo.gov
Russell Parsons, Maintenance Director, Star Valley Health, rparsons@starvalleyhealth.org

The review and acceptance of the plans and specifications, and the construction inspections conducted by our office do not release builders, contractors, architects, engineers, designers, owners, and the health care facility licensee from the responsibility of compliance to the fire safety codes and the State construction standards. Inspections at a later date may require mandatory corrections of any code violation.



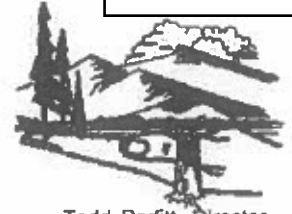
Mark Gordon, Governor

Department of Environmental Quality

To protect, conserve and enhance the quality of Wyoming's environment for the benefit of current and future generations.



Section 4, Itema.



Todd Parfitt, Director

January 7, 2025

Pat Davis, Chief of Life Safety & Construction Branch
Department of Health, Aging Division
Healthcare, Licensing and Surveys
Hathaway Bldg.
2300 Capitol Ave., Ste 510
Cheyenne, WY 82002

RE: Star Valley Health – Modification Radiology Room – Alpine OHLS # 2024-065
Alpine, Wyoming

Mr. Davis,

This letter is being written to explain information provided to the Wyoming Asbestos Program by your office; Mr. Ivan Avanda, Mr. Tim Duhr, Mr. Yova Rubio with Erdman; and Mr. Mac Dukart with Jorgensen for this project.

The Wyoming Asbestos Program received an email from your office on August 29, 2024, to provide the Department of Health information for this project. An email was received on September 9, 2024, from Mr. Duhr providing construction documents and an asbestos inspection performed by Jorgensen dated September 06, 2023. Questions were asked and responses received. An email was received on January 02, 2025, from Mr. Aranda with an additional report completed by Jorgensen dated October 30, 2024. A response was sent via email on January 02, 2025, asking if the sink was tested. An email was received on January 3, 2025, from Mr. Dukart reiterating the sink did not have any suspect materials. No asbestos-containing material was found in the building finishes that were tested as part of this project.

Based on the information provided, it appears that a thorough asbestos inspection has been completed for the work. If additional suspect material is identified or uncovered during the project, the work must stop until that material has been examined by a trained Building Inspector to determine if it is suspect.

I am writing this letter to indicate that I have received information on this project from Mr. Aranda, Mr. Duhr, Mr. Rubio, and Mr. Dukart and to state that it appears our requirements have been met for the Modification Radiology Room-Alpine project.

Sincerely,

Teresa Minnich-Young

Teresa Minnich-Young
Asbestos Program Coordinator

RE: Ivan Aranda with Erdman (laranda@erdman.com)
Yova Rubio with Erdman (yrubio@erdman.com)
Mac Dukart with Jorgensen (mdukart@jorgen.com)



PO Box 9550 | 1315 HWY 89 S., Ste. 201
Jackson, WY 83002
PH: 307.733.5150
www.jorgeng.com

October 30, 2024

Mike Hunsaker
Senior Vice President
Star Valley Health
901 Adams Street, Afton WY 83110
Sent via email: mhunsaker@StarValleyHealth.org

**Re: Asbestos Inspection of X-ray Room, Alpine Clinic
Star Valley Health, 37 Winter Green Dr., Alpine, Wyoming**

To whom it may concern,

Based on comments from the Wyoming Asbestos Program Coordinator, Jorgensen Associates, Inc (Jorgensen) conducted a follow-up inspection of the X-ray room of the Star Valley Health Clinic located at 37 Winter Green Dr., Alpine, Wyoming. A new X-ray machine is to be installed on the ceiling of this room, which will affect the ceiling tiles, and possibly the flooring.

Inspection

Jorgensen provided an EPA certified asbestos building inspector who on October 30, 2024, conducted a visual inspection of the X-ray room to be remodeled. This room is located across the hall of a storage room we inspected in October of 2023 and is a homogenous area. Based on this prior inspection during which samples of the acoustic ceiling tiles, flooring, drywall, and drywall texture was collected (all samples tested negative for asbestos), no new sample collection was deemed necessary.

Sampling

No additional samples collected; all suspect materials homogenous to samples collected and analyzed for the presence of asbestos previously.

Results

Ceiling tiles and flooring material to be disturbed during remodel previously tested negative for the presence of asbestos. No other suspect materials present.

Although all reasonable efforts were made to discover potential asbestos containing building materials, some suspect materials could remain hidden in walls and voids or other concealed areas. Please contact our office should any suspect materials be uncovered during the demolition process.

Thank you for allowing us to provide asbestos sampling for your project. Please contact us if you have any questions or if we can provide additional services to you.

Sincerely,
JORGENSEN ASSOCIATES, INC.

Mac Dukart

Digitally signed by Mac Dukart
DN: C=US, E=mdukart@jorgeng.com,
O=Jorgensen Associates, OU=Certified
Asbestos Inspector, CN=Mac Dukart
Date: 2024.10.30 17:21:10-06'00'

Mac Dukart, Certified Asbestos Inspector
Special Projects Manager

**SVH Alpine Clinic X-ray Room Remodel:**

Date: March 3, 2025

Scope:	Division:	Sub Contractor	Proposal:	Amount:	Comment:
Metals	Div. 5	PC Industries	Pending	\$15,000	Inflated previous quote
Paint	Div. 9	Nicholls Brothers Painting	Provided	\$1,121	Quote
Drywall	Div. 9	Standard Drywall	Pending	\$15,000	Need proposal from Ben
Concrete	Div. 3	Robert Shockey - Owner	Provided	\$5,600	Remove and replace
Flooring	Div. 9	Carpets Plus	Pending	\$11,326	Added \$1500 for base
Floor Preparation	Div. 9	Floor Prep	N/A	\$0	Included in Flooring
Special Construction	Div. 13	Unistrut	Provided	\$23,320	Quote
Fire Protection	Div. 21	Fire Service of Idaho	Estimate	\$4,000	Estimate
Electrical	Div. 26	Jensen Electric	Pending		Waiting for quote
Electrical	Div. 26	On Point - Gary	Provided	\$53,700	Quote
Equipment Rental	Gen. Req.	SVH	Estimate	\$500	Rental for SVH staff
Final Clean Up	Gen. Req.	ABS Cleaning Services	Estimate	\$2,500	Coordinated by Bob
ICRA	Gen. Req.	SVH	Estimate	\$1,000	By SVH staff
Design		ERDMAN	N/A	\$11,400	Complete and paid
				\$144,467	
Contingency:				\$21,670	15.00%
Total:				\$166,137	

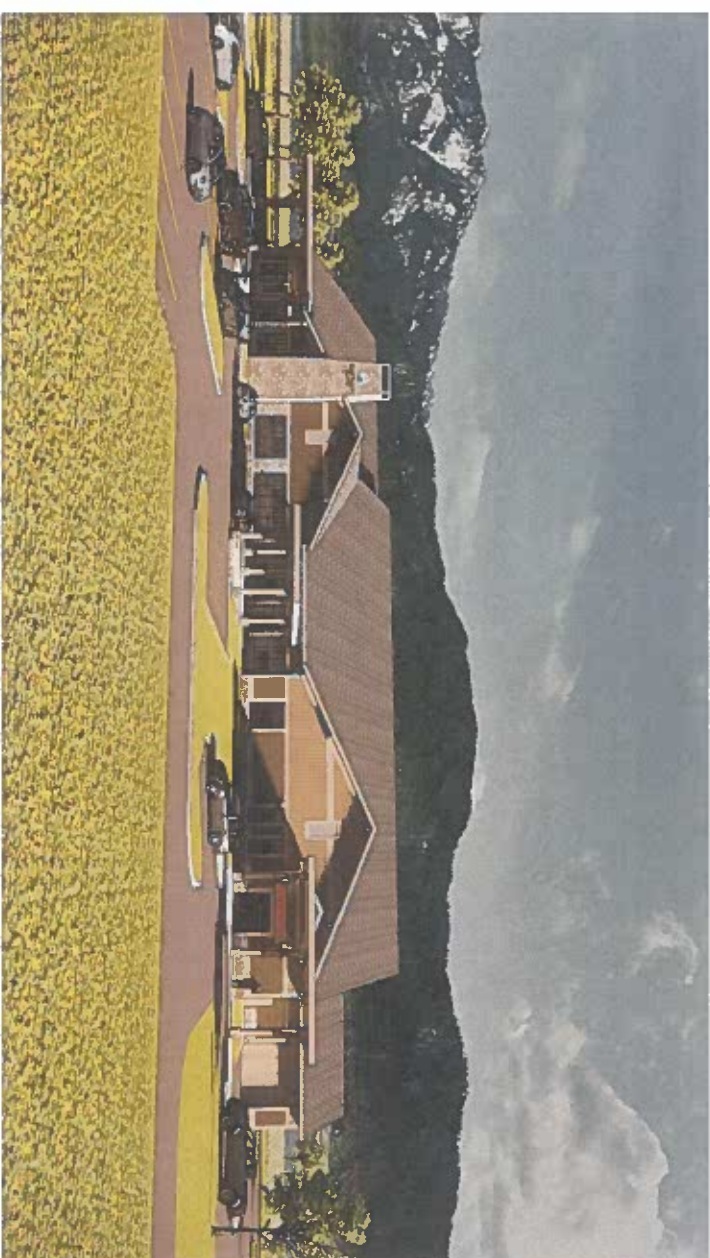
SHEET INDEX

SHEET INDEX-STRUCTURAL

SHEET INDEX-ARCHITECTURAL

SHEET INDEX-INTERIORS

INTERIOR DETAILS

SHEET INDEX PLUMBING

P30: FIRST FLOOR - PLUMBING MEDICAL GAS

SHEET INDEX-HVACHVAC CONTROLSSHEET INDEX-ELECTRICAL

NEW PANEL SCHEDULES

Star Valley

Architectural Services Provided by
BERDMAN COMPANY
Architect of Record
Daniel DeK
License #: C-3701

Engineering Services Provided By:
BERDMAN COMPANY
Professional Engineer
Structure
Andrew S. Hoffman
License #: 16179

**Professional Engineer
Mechanical**

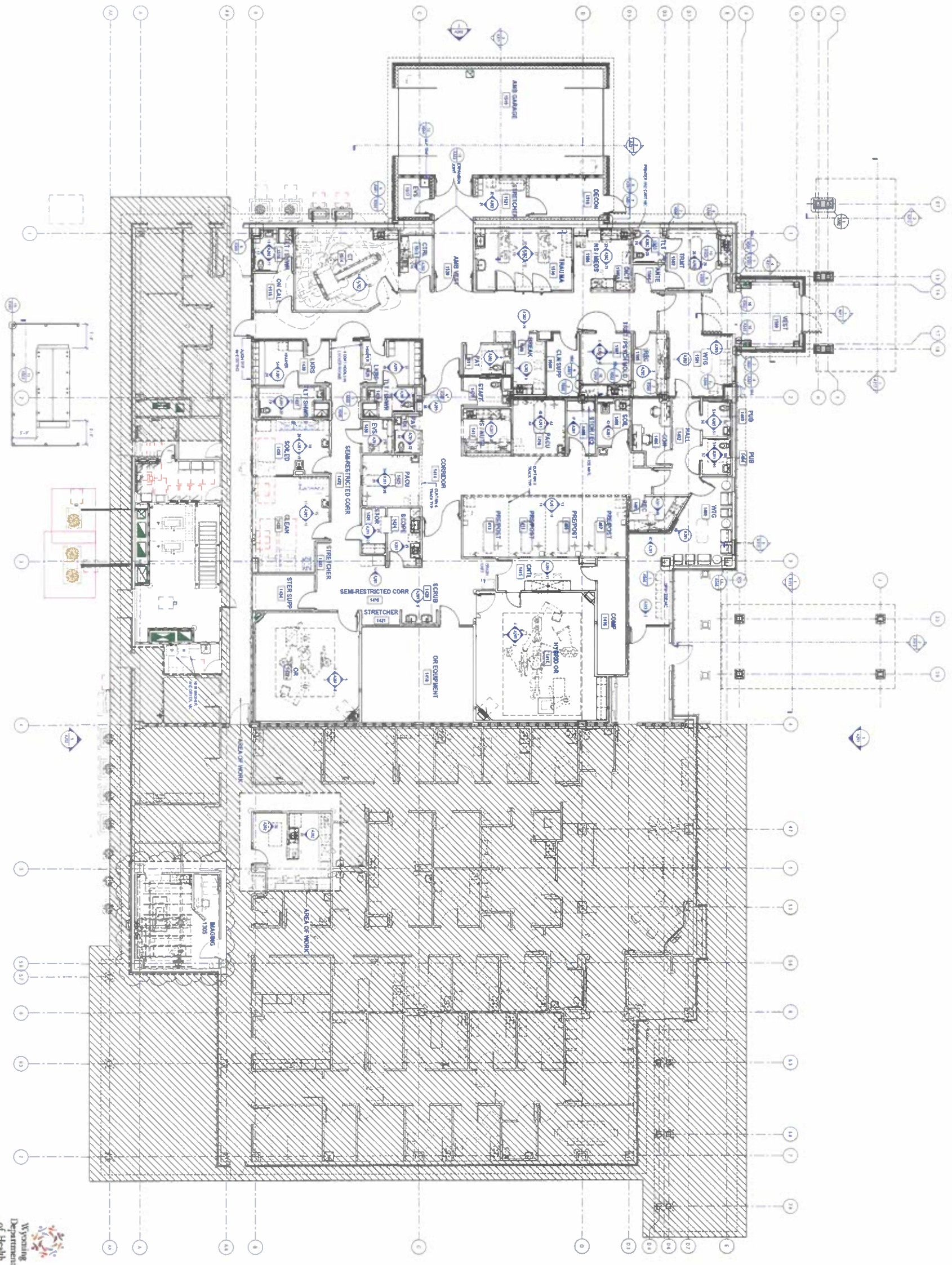
Professional Engineer
Electrical
Randy D. Wilde
License #: 14207

Contractor Services Provided By:
BERDMAN COMPANY

No.	Description	Date
1	1944-1950 (1944-1950)	1944-1950
2	1951-1955 (1951-1955)	1951-1955
3	1956-1960 (1956-1960)	1956-1960
4	1961-1965 (1961-1965)	1961-1965
5	1966-1970 (1966-1970)	1966-1970
6	1971-1975 (1971-1975)	1971-1975
7	1976-1980 (1976-1980)	1976-1980
8	1981-1985 (1981-1985)	1981-1985
9	1986-1990 (1986-1990)	1986-1990



FIRST FLOOR REFERENCE AND EQUIPMENT PLAN

A131
JOB # 658471

1 FIRST FLOOR REFERENCE AND EQUIPMENT PLAN

SCALE 10" = 10'

Project No. 2024-065
Reviewed and Accepted
Reviewed By

Dr. J. L. Davis, P.E.
1601 E. 1st St., Suite 100
Tulsa, Oklahoma 74103
Date: 09/12/24

Project No. 2024-005
Reviewed and Accepted

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No.	Issue	Description	Date
1	0625	06/25/2021	

Document Release

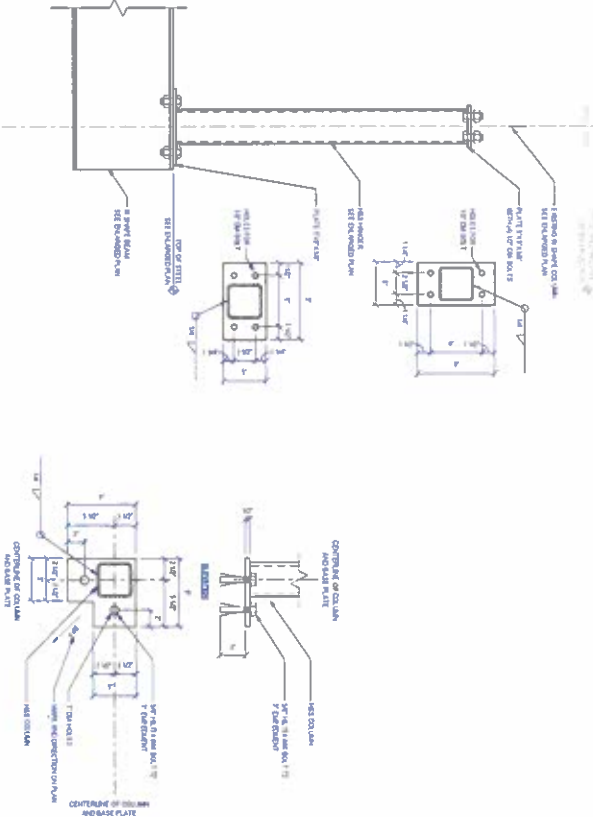


Star Valley Health
FRAMING AT
IMAGING

Drawn By: CH. HOFFMAN

S541

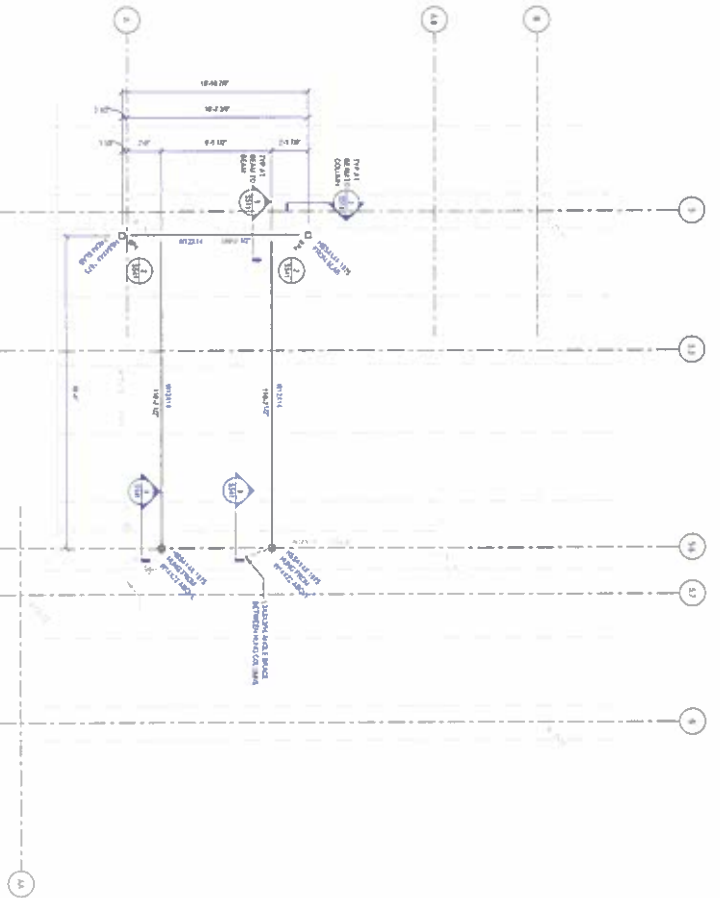
JOB # 659421



SECTION AT HANGER
SCALE: 1/8" = 1'-0"

CB4 COLUMN BASE PLATE - HSS COLUMNS AT CORNER
SCALE: 1/8" = 1'-0"

Verify that adequate seismic restraint is provided in accordance with the International Building Code.



ENLARGED FRAMING PLAN
SCALE: 1/8" = 1'-0"

Project No. 2024-085
Reviewed and Accepted
By: [Signature]
Date: 09/12/24
Wyoming Department of Health
Building, Planning & Construction Branch

ALPINE WY

Architectural Services Provided By
ERDMAN COMPANY
Architect of Record
Daniel Delk
License #: C-3701

License #: C-3701

Engineering Services Provided By
FERDMAN COMPANY
Professional Engineer
Structure
Andrew S. Hoffman
License #: 16179
Professional Engineer
Mechanical

**Professional Engineer
Plumbing
Eric Haines
License #: 18748**

**Professional Engineer
Electrical
Randy D. Wilde
License #: 14207**

Contractor Services Provided By:
SEEDMAN COMPANY

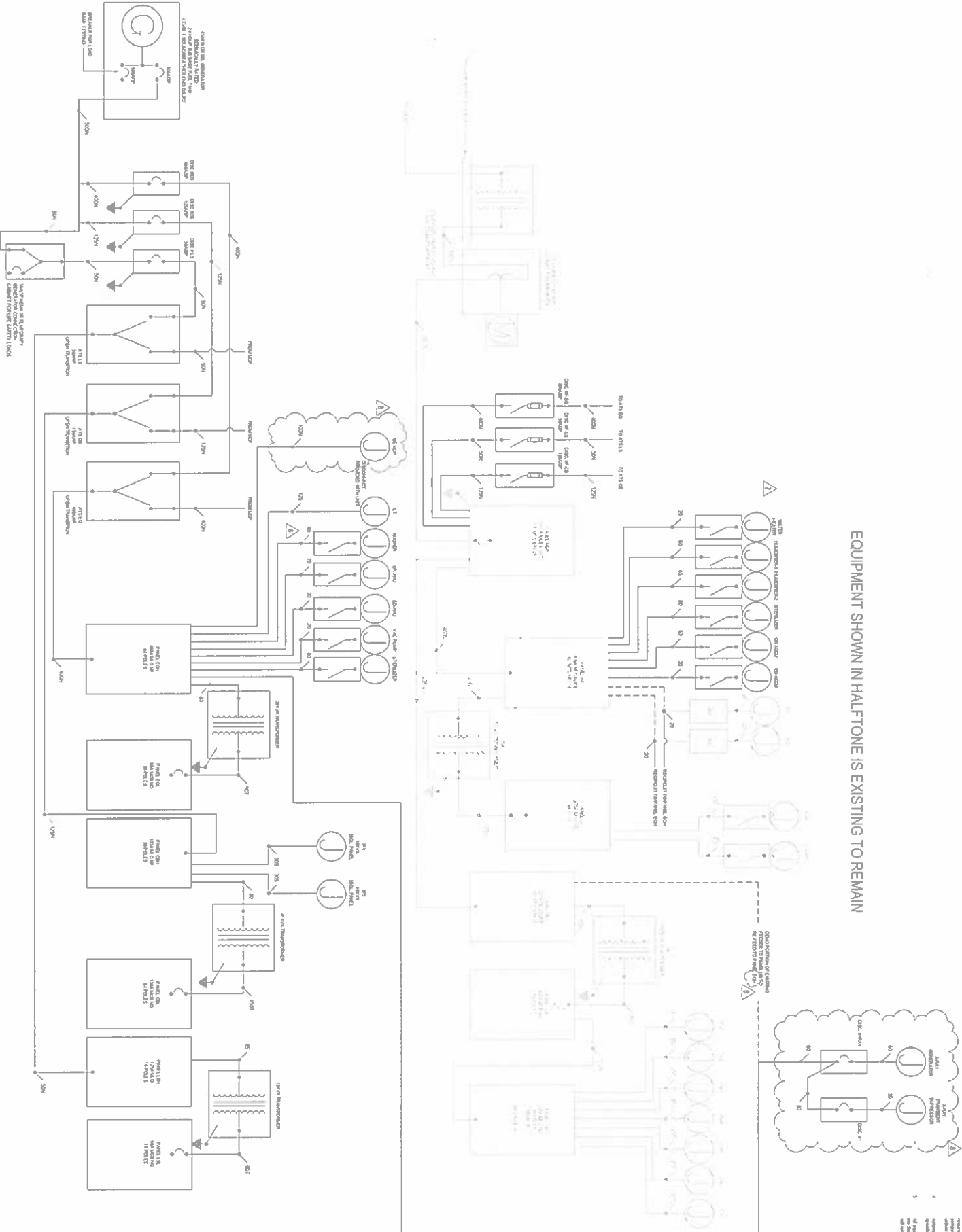
Document Release

ELECTRICAL RISER DIAGRAM

Don't WASH Don't RYTHM

E601

JOB # 65842

[illegible]

EQUIPMENT SHOWN IN HALFTONE IS EXISTING TO REMAIN

[illegible]

[illegible]

Branch Paid: CBL

Location: 81017000000000000000

Supply Point: 1-03

Measuring: 645F AC

End-user: 82000000000000000000

Type: NO 30-MON-WIRE

Unit: 100000 Wye

Phase: 3

Wire: 4

Type: NO 30-MON-WIRE

A.L.C. Rating: 20k

Minimum Rating: 275 k

Min Rating: 100 k

Line	Order Description	Qty	Unit	A	B	C	Unit	Order Description	Ext
001	RECEIPTS FROM 1000	20.0	1	720	500		1	RECEIPTS FROM 1000	4
1	WIRE 1/2 IN 1000	20.0	1		750	720	1	RECEIPTS FROM 1000	7
2	WIRE 1/2 IN 1000	20.0	1			750	1	RECEIPTS FROM 1000	4
3	WIRE 1/2 IN 1000	20.0	1			750	1	RECEIPTS FROM 1000	6
5	WIRE 1/2 IN 1000	20.0	1	1507			1	WIRE 1/2 IN 1000	9
8	WIRE 1/2 IN 1000	20.0	1		500	800	1	WIRE 1/2 IN 1000	6
11	RECEIPTS FROM 1000	20.0	1			800	1	RECEIPTS FROM 1000	17
13	RECEIPTS FROM 1000	20.0	1		800		1	RECEIPTS FROM 1000	14
15	WIRE 1/2 IN 1000	20.0	1		300	300	1	WIRE 1/2 IN 1000	17
17	WIRE 1/2 IN 1000	20.0	1			1000	1	WIRE 1/2 IN 1000	18
19	WIRE 1/2 IN 1000	20.0	1	1500	500		1	WIRE 1/2 IN 1000	20
21	WIRE 1/2 IN 1000	20.0	1		500	500	1	WIRE 1/2 IN 1000	22
23	WIRE 1/2 IN 1000	20.0	1		500	500	1	WIRE 1/2 IN 1000	22
25	WIRE 1/2 IN 1000	20.0	1	1500	500		1	WIRE 1/2 IN 1000	26
27	WIRE 1/2 IN 1000	20.0	1		1500		1	WIRE 1/2 IN 1000	28
29	WIRE 1/2 IN 1000	20.0	1		1500		1	WIRE 1/2 IN 1000	28
31	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	31
33	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	34
35	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	34
37	RECEIPTS FROM 1000	20.0	1	1500	100		1	RECEIPTS FROM 1000	37
41	RECEIPTS FROM 1000	20.0	1		1500	810	1	RECEIPTS FROM 1000	40
43	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	41
45	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	44
47	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	48
49	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	50
51	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	54
53	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	54
55	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	54
57	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	58
59	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	60
61	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	62
63	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	64
65	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	66
67	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	68
69	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	70
71	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	72
73	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	74
75	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	76
77	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	78
79	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	80
81	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	82
83	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	84

Line	Order Description	Qty	Unit	A	B	C	Unit	Order Description	Ext
001	RECEIPTS FROM 1000	20.0	1	720	500		1	RECEIPTS FROM 1000	4
1	WIRE 1/2 IN 1000	20.0	1		750	720	1	RECEIPTS FROM 1000	7
2	WIRE 1/2 IN 1000	20.0	1			750	1	RECEIPTS FROM 1000	4
3	WIRE 1/2 IN 1000	20.0	1			750	1	RECEIPTS FROM 1000	6
5	WIRE 1/2 IN 1000	20.0	1	1507			1	WIRE 1/2 IN 1000	9
8	WIRE 1/2 IN 1000	20.0	1		500	800	1	WIRE 1/2 IN 1000	6
11	RECEIPTS FROM 1000	20.0	1			800	1	RECEIPTS FROM 1000	17
13	RECEIPTS FROM 1000	20.0	1		800		1	RECEIPTS FROM 1000	14
15	WIRE 1/2 IN 1000	20.0	1		300	300	1	WIRE 1/2 IN 1000	17
17	WIRE 1/2 IN 1000	20.0	1			1000	1	WIRE 1/2 IN 1000	18
19	WIRE 1/2 IN 1000	20.0	1	1500	500		1	WIRE 1/2 IN 1000	20
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37	RECEIPTS FROM 1000	20.0	1	1500	100		1	RECEIPTS FROM 1000	37
41	RECEIPTS FROM 1000	20.0	1		1500	810	1	RECEIPTS FROM 1000	40
43	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	41
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49	RECEIPTS FROM 1000	20.0	1		1500		1	RECEIPTS FROM 1000	50
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15	WIRE 1/2 IN 1000	20.0	1		300	300	1	WIRE 1/2 IN 1000	17
17	WIRE 1/2 IN 1000	20.0	1			1000	1	WIRE 1/2 IN 1000	18
19									

ERDMAN

**Star Valley Health -
Alpine Clinic ED
and Hybrid OR**

ALPINE, WY

Our Future Plans:
Boulder, Colorado (2017)
Rocky Mountain
TVA, Tenn (2018)

Architectural Services Provided By:
ERDMAN COMPANY
Architect of Record
Daniel Dalk
License #: C-3701

Engineering Services Provided By:
ERDMAN COMPANY
Professional Engineer
Structure
Andrew S. Hoffman
License #: 16179

Professional Engineer
Mechanical
Michael S. Melsner
License #: 6933

Professional Engineer
Plumbing
Eric Halvasek
License #: 18748

Professional Engineer
Electrical
Randy D. Wilde
License #: 14207

Contract Services Provided by:
ERDMAN COMPANY

Consulting Services Provided By:

TURN-KEY MEDICAL, INC.

CARESTREAM DR-FIT CM TUBE RADIOGRAPHIC ROOM

STAR VALLEY ALPINE CLINIC ALPINE, WYOMING

TURN-KEY MEDICAL, INC.
365 S.W. 5TH AVE.
MERIDIAN, IDAHO 83642

REV. AUTHORED BY	DATE	DOCUMENT NUMBER	REV.
REV. DRAFTED BY	DATE		0.1
REV. RELEASE DATE		SIZE: B ARCH	

THIS DOCUMENT CONTAINS PROPRIETARY DATA OF TURN-KEY MEDICAL, INC. AND SHALL NOT BE USED FOR PURPOSES OTHER THAN THOSE AGREED UPON BETWEEN TURN-KEY MEDICAL AND ITS CUSTOMER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

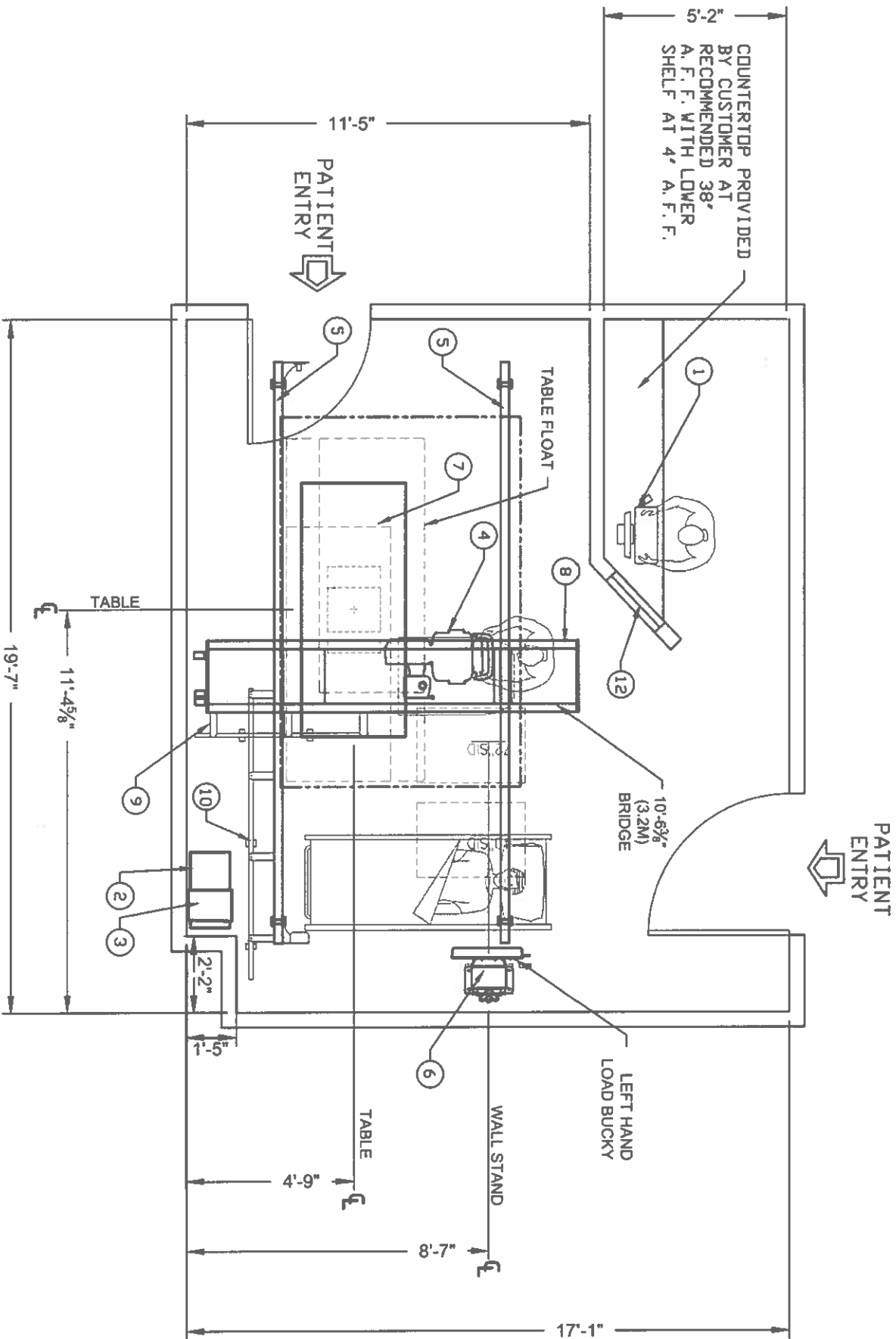
STAR VALLEY ALPINE CLINIC
DR-FIT CM X-RAY ROOM PLAN
ALPINE, WYOMING

THESE DRAWINGS ARE FOR
REVIEWING PURPOSES ONLY

DATE	8/19/2024
SCALE	3/8"=1'-0"
DRAWN BY	SKD
PURCHASE ORDER	

PROJECT NO.
FINAL

SHEET NO.
COVER



NOTES:
72" SID TO FLOOR IS OBTAINABLE

EQUIPMENT PLAN

EQUIPMENT LEGEND						
ITEM	SUPPLIED/INSTALLED BY	BTU/hr	wt	W	L	H
1	CARESTREAM HEALTH	lb	lb	in	in	in
2	COMPUTER- HP ENGAGE FLEX PRO WITH HP E230T DISPLAY	--	14.2	13.3	15.1	4
3	CARESTREAM GENERATOR	1000	174	13.5	25.6	24.1
4	PDU- POWER DISTRIBUTION UNIT	--	--	10.4	25.8	5.75
5	OTC TUBE/COLLIMATOR ASSY	--	--	--	--	--
6	4M LONGITUDINAL RAIL	--	65		157	
7	WALL STAND MANUAL NON-TILT	--	415	--	--	89
8	QT-750 ELEVATING TABLE	--	500	86	35.8	32.5
9	OTC BRIDGE	--	661	24	126.3	3.63
10	BRIDGE CABLE RAIL	--	--	--	59	--
11	LONGITUDINAL CABLE RAIL	--	--	--	98.5	--
12	DR LI ROLLING STAND	--	178	47	30	75

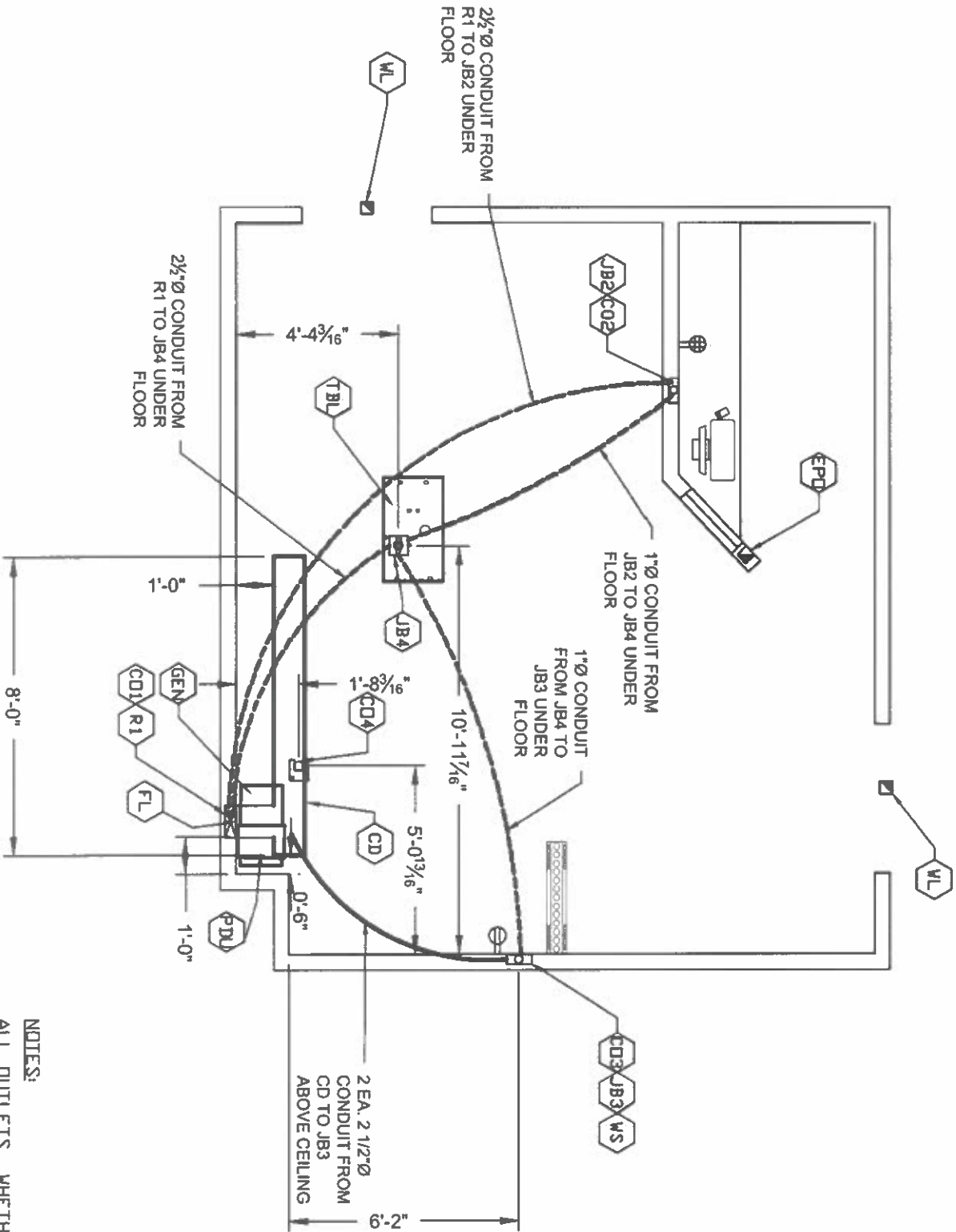
NOTE: TOTAL OTC WEIGHT WITH RAILS IS 992 lbs	
ITEM	SUPPLIED/INSTALLED BY CUSTOMER OR CONTRACTOR
12	WINDOW - GLASS, LEAD LINED
<u>COMPASS OTC SYS. OPERATING ENVIRONMENT REQUIREMENTS</u>	
AMBIENT TEMPERATURE: +10°C TO +40°C	
ATMOSPHERIC PRESSURE: 700 hPa to 1060 hpa	
CEILING HEIGHT RANGE: 8'-10" TO 10'-0"	
THIS CEILING HEIGHT RANGE PROVIDES FULL FUNCTIONALITY OF THE CARESTREAM SYSTEM. ANY DEVIATION MUST BE DISCUSSED WITH THE CARESTREAM PROJECT MANAGER.	
EXISTING CEILING HEIGHT: X'-X" (X.Xm)	

TURN-KEY MEDICAL, INC.			
1455 W. 5TH AVE. MERIDIAN, IDAHO 83642			
REV. AUTHORED BY	DATE	DOCUMENT NUMBER	REV
REV. DRAFTED BY	DATE		0.1
REV. RELEASE DATE		SIZE	B ARCH

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STAR VALLEY ALPINE CLINIC	
DR-FIT CM X-RAY ROOM PLAN	
ALPINE, WYOMING	
THESE DRAWINGS ARE FOR REVIEWING PURPOSES ONLY	

DATE	8/19/2024
SCALE	3/8"=1'-0"
DRAWN BY:	SKD
PURCHASE ORDER:	



ELECTRICAL PLAN
ELECTRICAL INSTALLED BY CUSTOMER

NOTES:

ALL OUTLETS, WHETHER DUPLEX OR QUAD, SHOWN ON CARESTREAM SITE SPECIFIC DRAWINGS, ARE EXCLUSIVELY FOR CARESTREAM EQUIPMENT. ANY CUSTOMER REQUIRED OUTLETS MUST BE APPROVED SEPARATELY.

ELECTRICAL LEGEND	
ITEMS NOT SUPPLIED/INSTALLED BY CARESTREAM	
SYM.	SUPPLIED/INSTALLED BY CUSTOMER/CONTRACTOR
(R1)	RISER- 10"x3 1/2" FLUSH MOUNTED WITH REMOVABLE COVERS FROM CD TO FINISHED FLOOR. PROVIDE DIVIDERS PER LOCAL CODE
(CD1)	CUT OUT- 3"Ø WITH GROMMET IN COVER PLATE OF R1. 18" A.F.F.
(CD)	CEILING DUCT- 10"x3 1/2" ABOVE FINISHED CEILING, WITH REMOVABLE COVERS FACING UP. DIVIDERS PER LOCAL CODE
(JB2)	JUNCTION BOX- 8"x8" FLUSH MOUNTED IN CONTROL ROOM WALL, BOTTOM AT 14" A.F.F.
(CD2)	CUT OUT- 2"Ø WITH GROMMET ON FACE PLATE OF JB2
(WS)	WALL STAND CABLE ENTRY
(JB3)	JUNCTION BOX- 6"x6" FLUSH MOUNTED, BOTTOM AT 36" A.F.F.
(CD3)	CUT OUT- 2"Ø WITH GROMMET ON FACE PLATE OF JB3
(CD4)	CUT OUT- 3"Ø WITH GROMMET ON BOTTOM OF CD FOR OTC HOSE BRACKET
(TBL)	CARESTREAM TABLE BASE SHOWN FOR REFERENCE
(JB4)	JUNCTION BOX- 6"x6" FLUSH MOUNTED IN FLOOR UNDER TABLE
(GEN)	GENERATOR- SEE POWER SPECIFICATIONS ON SHEET E2
(FL)	CUSTOMER PROVIDED 1 1/2"Ø SEAL-TIGHT, INCLUDE FITTINGS FOR MAIN POWER TO CARESTREAM GENERATOR. WIP LENGTH PER LOCAL CODE. INSTALLED BY CUSTOMER ELECTRICIAN. SEE SHEET E2 FOR ELECTRICAL POWER REQUIREMENTS.
(PDU)	POWER DISTRIBUTION UNIT
(VL)	WARNING LIGHT- OPTIONAL "X-RAY IN USE" LIGHT PER CODE. CUSTOMER TO PROVIDE FIXTURE AND 24V POWER / CONTACTS TO CSH GENERATOR. SEE SHEET E2 SCHEMATIC DIAGRAM.
(EPD)	EMERGENCY POWER OFF- OPTIONAL SWITCH TO CUSTOMER SHUNT BREAKER IN MAIN DISCONNECT. EXACT LOCATION PER LOCAL CODE OR BY CUSTOMER
⊕	120 VAC QUAD OUTLET, 14" A.F.F.
⊖	120 VAC DUPLEX OUTLET, 14" A.F.F.
△	NETWORK DROP, 14" A.F.F.
NOTE: ALL ELECTRICAL DUCTS AND CONNECTIONS MUST CONFORM TO THE N.E.C. CODES, IN ADDITION TO STATE AND LOCAL REGULATIONS FOR THE COUNTRY OR LOCALITY IN WHICH THE EQUIPMENT IS INSTALLED. SITE IS RESPONSIBLE TO DETERMINE ELECTRICAL DESIGN INCLUDING NUMBER OF DIVIDERS IN CABLE TROUGH PER CODE	

TURN-KEY MEDICAL, INC. 365 S.W. 5TH AVE. MERIDIAN, IDAHO 83642			
REV. AUTHORED BY	DATE	DOCUMENT NUMBER	REV.
REV. DRAFTED BY	DATE		0.1
REV. RELEASE DATE		SIZE	B ARCH

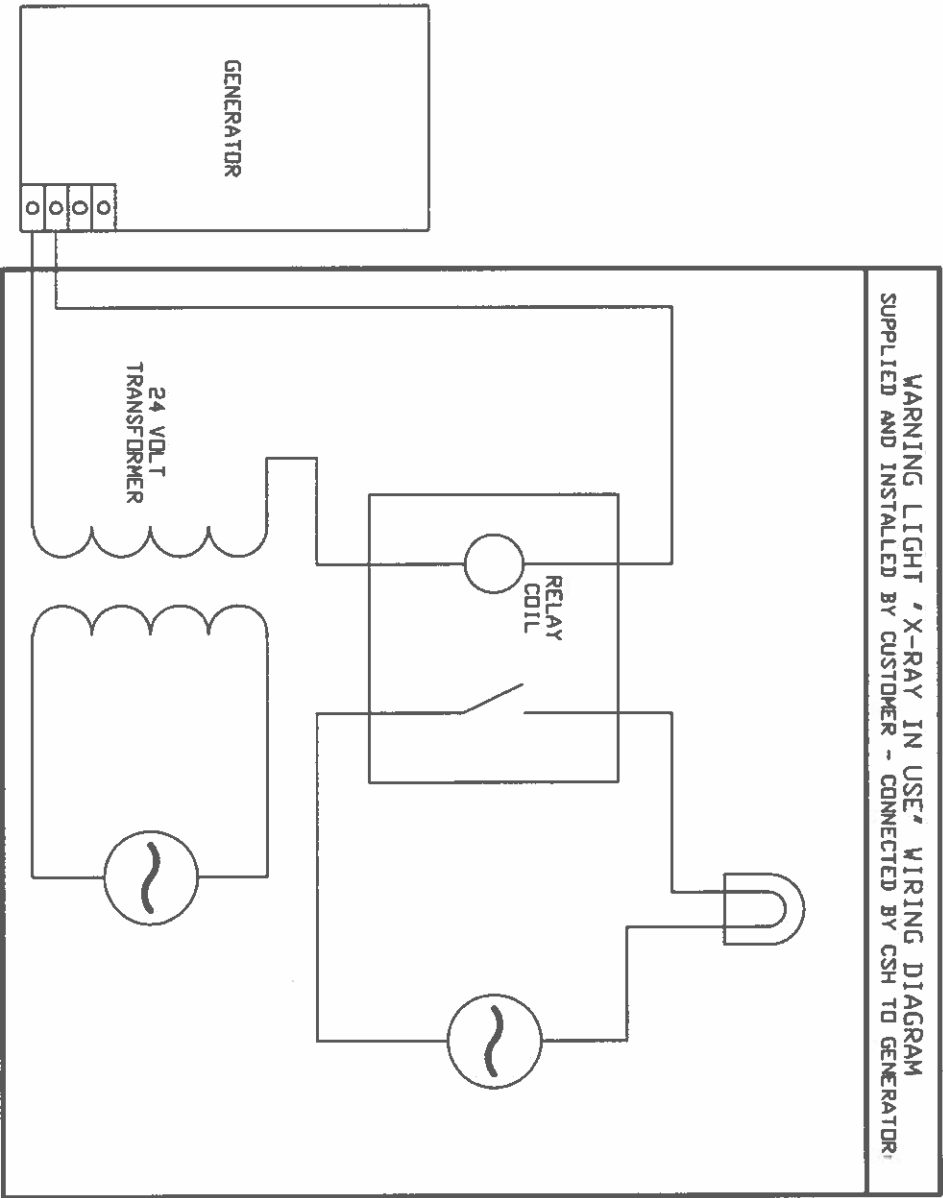
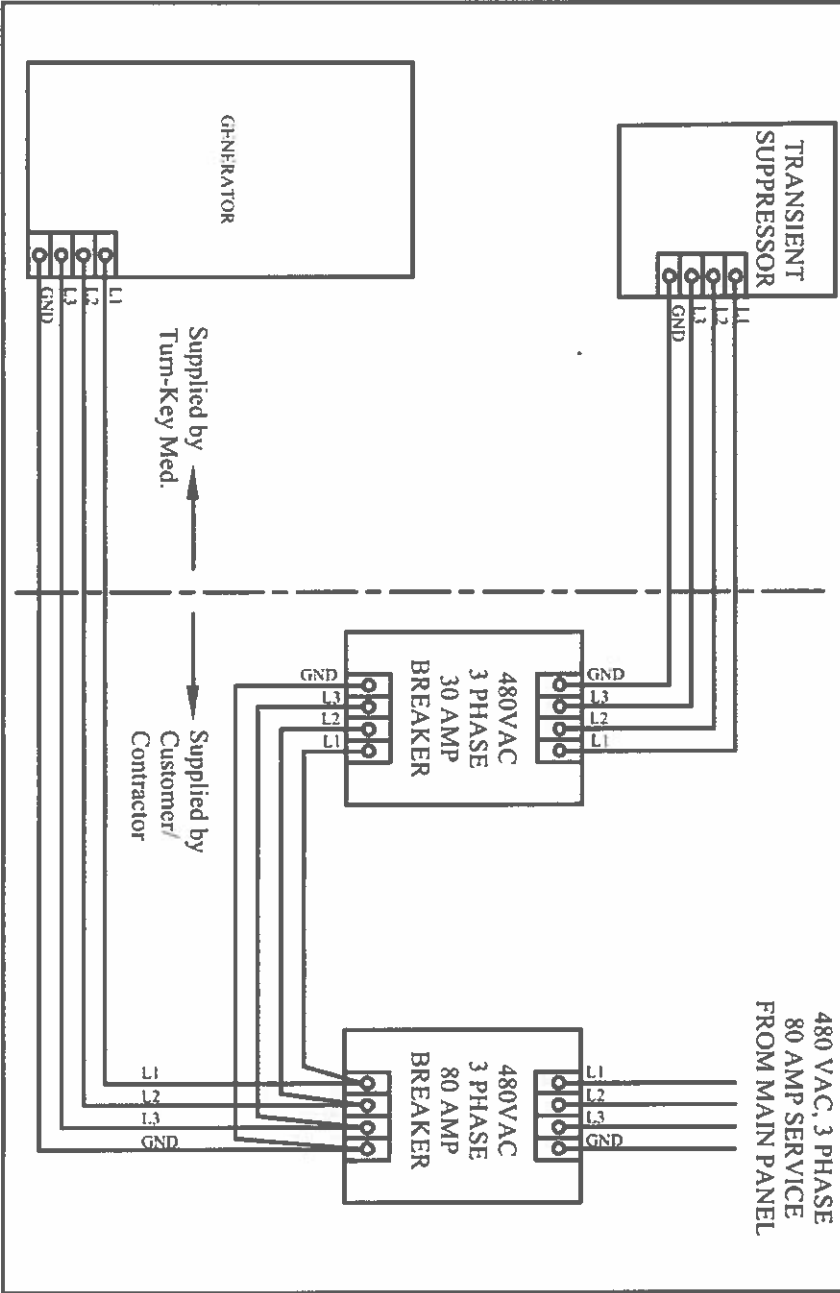
THIS DOCUMENT CONTAINS PROPRIETARY DATA OF TURN-KEY MEDICAL, INC. AND SHALL NOT BE USED FOR PURPOSES OTHER THAN THOSE AGREED UPON BETWEEN TURN-KEY MEDICAL AND ITS CUSTOMER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

STAR VALLEY ALPINE CLINIC DR-FIT CM X-RAY ROOM PLAN	
ALPINE, WYOMING	
THESE DRAWINGS ARE FOR REVIEWING PURPOSES ONLY	

DATE	8/19/2024
SCALE	3/8"=1'-0"
DRAWN BY:	SKD
PURCHASE ORDER	
PROJECT NO.	FINAL
SHEET NO.	E1

ELECTRICAL POWER REQUIREMENTS						
GENERATOR SYM MODEL NO.	MAX POWER OUTPUT (kwh)	NOMINAL LINE VOLTAGE (vac)	DISCONNECT TO GENERATOR 15ft (5m) MAX. (awg)	MAIN DISCONNECT (AMPS)	RECOMMENDED DISTRIBUTION TRANSFORMER CAPACITY (kVA)	MAX.INPUT LINE RESISTANCE AT FULL LOAD RMS (ohms)
GEN QG-65G	65	480	#4	80	85	.21
						3
NOTE: ALL INSTALLATIONS MUST MEET THE REQUIREMENTS OF LOCAL ELECTRICAL CODES. THE ABOVE VALUES ARE RECOMMENDED AS TYPICAL (UNLESS OTHERWISE SPECIFIED) LISTED ARE THE FOUR MAIN TYPICAL GENERATORS, OTHERS ARE AVAILABLE.						
DESCRIPTION: SUPPLIED AND INSTALLED BY CUSTOMERS CONTRACTOR						
1. ALL WIRING AND GROUNDING MUST BE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE OR LOCAL ELECTRICAL CODES 2. INPUT VOLTAGE: 380-480 (±10%) VAC 50/60 Hz, 3 PHASE WYE 3. LINE REGULATION: 5% AT FULL LOAD						

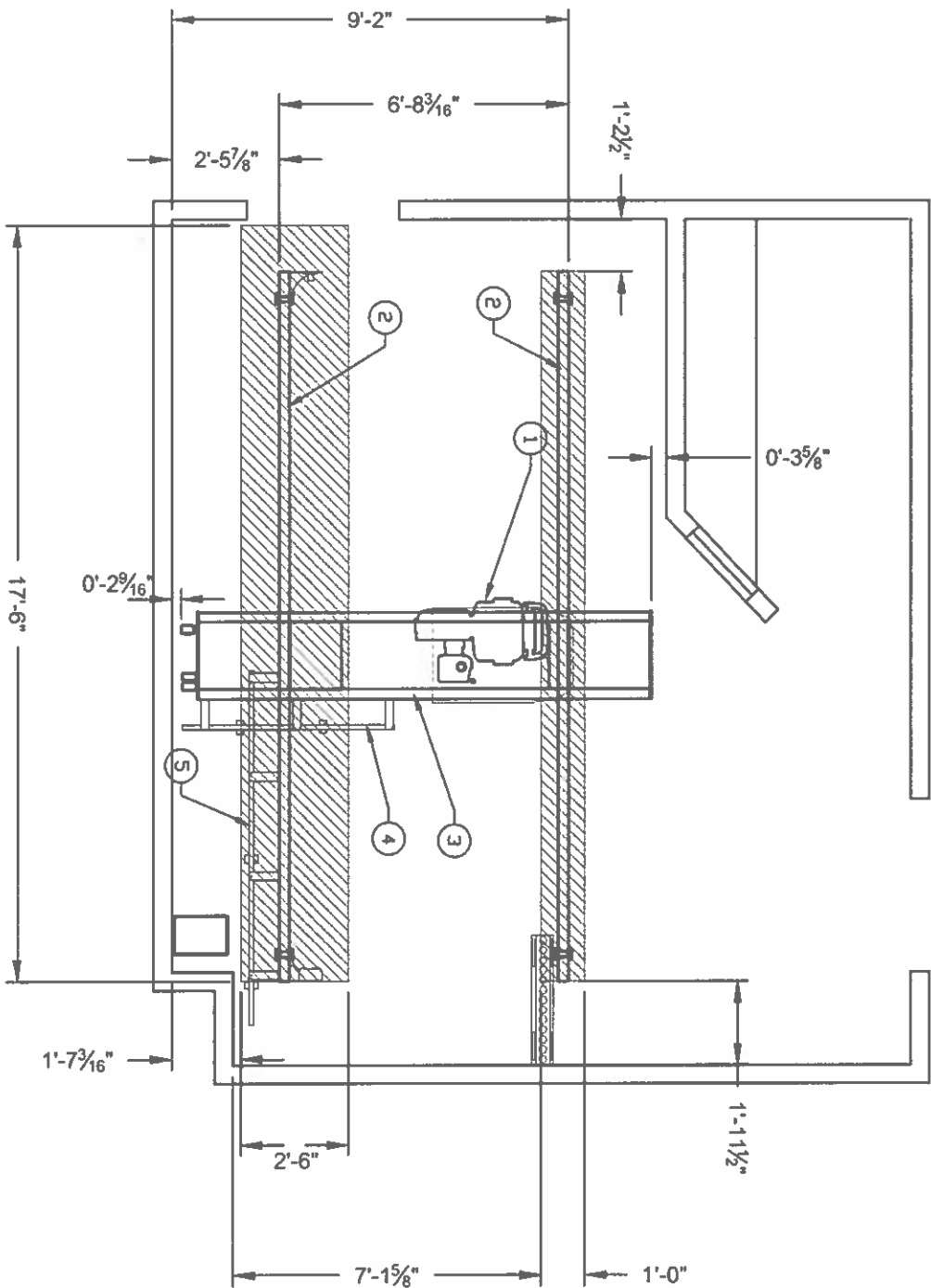
MAIN POWER CIRCUIT



WARNING LIGHT 'X-RAY IN USE' WIRING DIAGRAM
SUPPLIED AND INSTALLED BY CUSTOMER - CONNECTED BY CSH TO GENERATOR

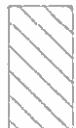
DATE: 8/19/2024		STAR VALLEY ALPINE CLINIC DR-FIT CM X-RAY ROOM PLAN		ALPINE, WYOMING		THIS DOCUMENT CONTAINS PROPRIETARY DATA OF TURN-KEY MEDICAL, INC. AND SHALL NOT BE USED FOR PURPOSES OTHER THAN THOSE AGREED UPON BETWEEN TURN-KEY MEDICAL AND ITS CUSTOMER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.		TURN-KEY MEDICAL, INC. 365 S.W. 5TH AVE. MERIDIAN, IDAHO 83642	
SCALE: 3/8"=1'-0"								REV. AUTHORED BY: DATE	DOCUMENT NUMBER
DRAWN BY: SKD								REV. DRAFTED BY: DATE	REV. D.1
PURCHASE ORDER								REV. RELEASE DATE	SIZE 8 ARCH
PROJECT NO.	FINAL	THESE DRAWINGS ARE FOR REVIEWING PURPOSES ONLY							
SHEET NO.	E2								

CEILING PLAN
EQUIPMENT INSTALLED BY CSH



STRUCTURAL LEGEND

ITEM	SUPPLIED/INSTALLED BY CARESTREAM HEALTH INC.
1	COMPASS OTC TUBE
2	OTC CEILING RAIL
3	OTC BRIDGE
4	BRIDGE CABLE RAIL
5	LONGITUDINAL CABLE RAIL



RESTRICTED CEILING AREA FOR CARESTREAM EQUIPMENT.
NO CEILING MOUNTED FIXTURES, INCLUDING HVAC,
LIGHTING AND SPRINKLERS.

GENERAL NOTES

1. REFLECTED CEILING PLAN REFERENCES LOCATION OF THE
CARESTREAM CEILING MOUNTED EQUIPMENT NOT TO INTERFERE
WITH LIGHTS, DIFFUSERS AND SPRINKLER HEADS.

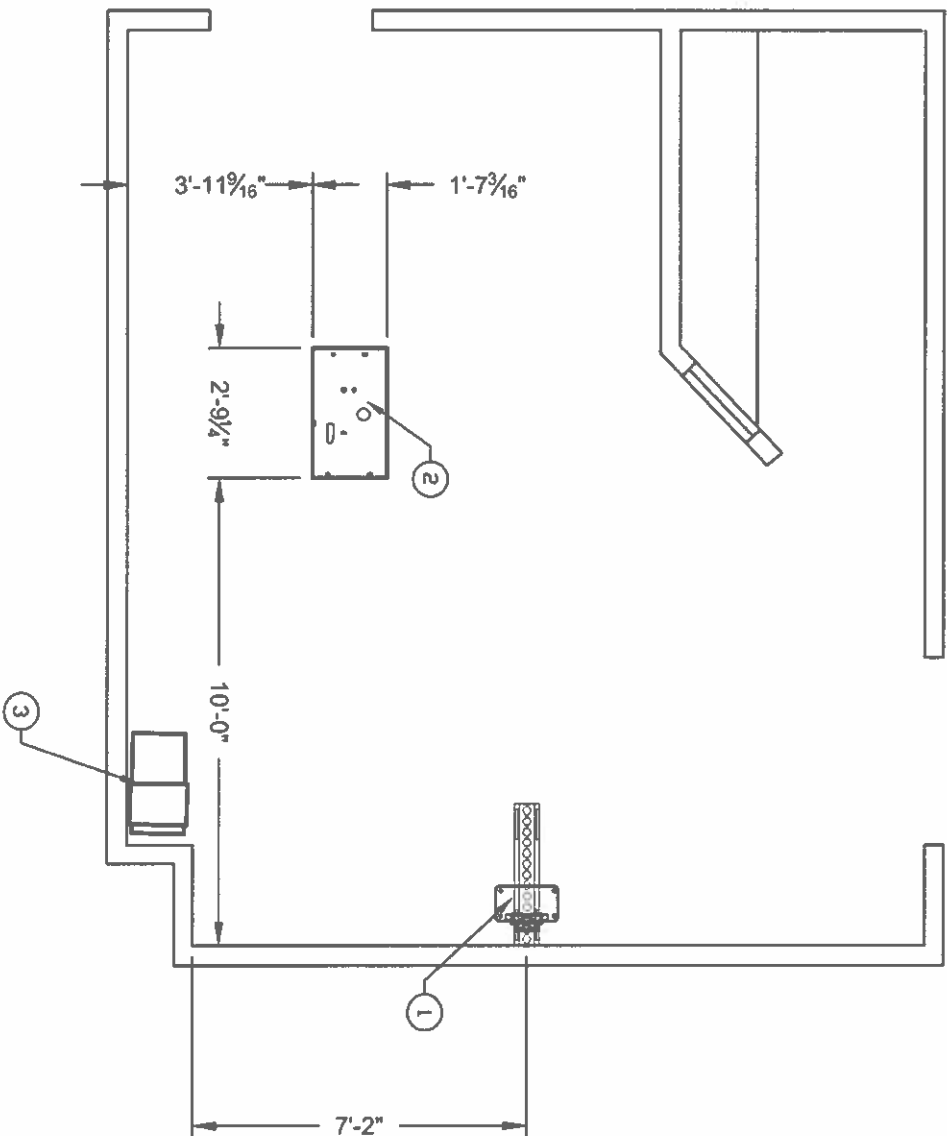
STAR VALLEY ALPINE CLINIC
DR-FIT CM X-RAY ROOM PLAN
ALPINE, WYOMING
THESE DRAWINGS ARE FOR
REVIEWING PURPOSES ONLY

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OTHER THAN THOSE AGREED UPON
BETWEEN TURN-KEY MEDICAL AND ITS
CUSTOMER. THIS DRAWING IS NOT TO BE
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TURN-KEY MEDICAL, INC. 365 S.W. 5TH AVE. MERIDIAN, IDAHO 83642		
REV AUTHORED BY	DATE	DOCUMENT NUMBER
REV DRAFTED BY	DATE	REV 0.1
REV RELEASE DATE	DATE	SIZE B ARCH

CRITICAL TO FUNCTION FOR ITEM 2

FLOOR UNDER TABLE BASE PLATE TO BE FLAT AND
LEVEL WITH A TOTAL TOLERANCE OF 1/8"



FLOOR PLAN
EQUIPMENT INSTALLED BY CSH

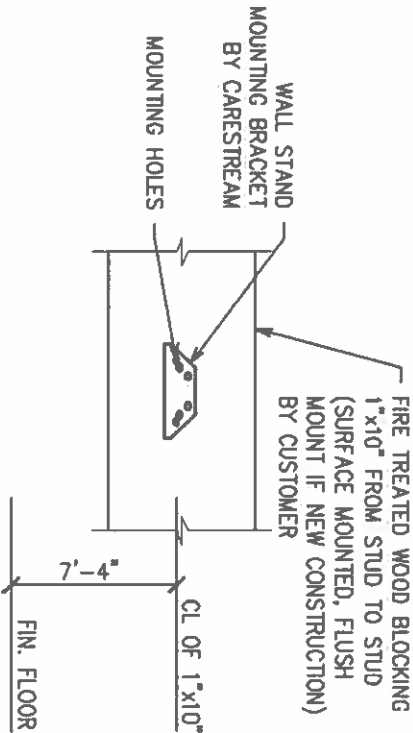
STRUCTURAL LEGEND

ITEM	COMPONENT DESCRIPTION- SUPPLIED AND INSTALLED BY CARESTREAM HEALTH INC.
①	WALL STAND BASE PLATE
②	TABLE BASE PLATE
③	GENERATOR AND PDU

GENERAL NOTES

- FOR WALL STAND BASE PLATE AND TABLE BASE PLATE ANCHORS REFER TO EQUIPMENT SPECIFICATIONS AK0249.

DETAIL-A
WALL STAND WOOD BLOCKING
NO SCALE



TURN-KEY MEDICAL, INC. 365 S.W. 5TH AVE. MERIDIAN, IDAHO 83642			
REV. AUTHORED BY	DATE	DOCUMENT NUMBER	REV
REV. DRAFTED BY	DATE		0.1
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STAR VALLEY ALPINE CLINIC
DR-FIT CM X-RAY ROOM PLAN

ALPINE, WYOMING

THESE DRAWNGS ARE FOR
REVIEWING PURPOSES ONLY

DATE	8/19/2024
SCALE	3/8"=1'-0"
DRAWN BY:	SKD
PURCHASE ORDER	
PROJECT NO.	
FINAL	
SHEET NO.	S3



MULTI UNIT RESIDENTIAL BUILDING

Permit Application

INFORMATION TO BE PROVIDED BY APPLICANT ~ PLEASE FILL IN ALL BLANKS

PROJECT NAME:

Physical Address:

Legal Description (Lot # and Subdivision):

Description of Work:

Horizontal & verticle work associated with construction of 8 plex

Proposed Building Use:

Rentals

Estimated Valuation of Work:

1.5 Million

Floor Area per Unit:

First Flr:

Second Flr.

Third Flr:

Basement:

1208 SF & 1234 SF

5303 SF

5227 SF

Total Number of Units:

8

Total Unit Square Footage:

1230 SF & 1331

Overall Total Project Square Footage:

10530 SF

APPLICANT/CONTRACTORS AND/OR CONSULTANTS:

Owner:

Rendezvous Custom Homes / Jeff Jeppesen

Phone:

307-733-7477

Mailing Address:

PO Box 11911 Jackson, WY 83002

Contractor:

New Peak Construction Company

Mailing Address:

4733 Heads Up Tetonia, Idaho 83452

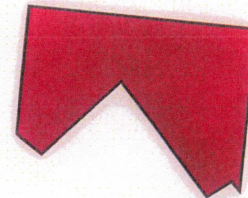
Excavating Contractor:

Alpine Excavating

Mailing Address:

PO Box 3309 Alpine, WY 83128

WYOMING
PROUD



307.760.3204
307.460.9944
jared@newpeakcc.com
www.newpeakcc.com

Jared Killpack

TOWN OF ALPINE - PLAN REVIEW RECORD

PERMIT #:

DATE RECEIVED:

APPLICATION DATE:

TYPE OF REVIEW COMPLETED:

(Circle One):

COMMERCIAL

RESIDENTIAL

INSPECTOR:

CONTRACTOR:

OWNER:

JOB ADDRESS:

PROJECT DESCRIPTION:

Date Received:

Date Completed:

YES	NO	TO BE COMPLETED BY TOWN BUILDING OFFICIAL	
✓		PRELIMINARY SITE PLAN INCLUDED WITH DOCUMENTS: <i>NOTE: FDC, LOC NEEDS APP. FROM ALPINE FIRE DEPT.</i> Proposed Vehicular Access, Water/Sewer Connection Locations, Proposed Utility's Locations, Propane Appliances, Driveway (culverts, if required), Setbacks, and on-site drainage facilities {Commercial Only}	
	✓	COMPLIANT WITH 2021 INTERNATIONAL BUILDING AND/OR RESIDENTIAL CODE	
		THREE {3} COMPLETE SETS OF SCALED CONSTRUCTION DRAWINGS STAMPED BY A STATE OF WYOMING LICENSED ENGINEER:	
✓		a.	FOUNDATION
	X	b.	FLOOR PLAN <i>SEE NOTES</i>
	X	c.	WALL SECTIONS <i>SEE NOTES</i>
	X	d.	ROOF SYSTEM - <i>ROOF OVERHANGS DO NOT COMPLY. VERIFY ATTIC VENTILATION</i>
	X	e.	BUILDING ELEVATIONS {Including Building Height from Finished Grade} <i>BUILDING HEIGHT IS MISSING</i>
✓		f.	EXTERIOR MATERIAL SPECIFICATIONS (<i>STONE NOT SPECIFIED</i>)
✓		g.	ELECTRICAL PLAN (INCLUDED {No Town Review Completed})
		ELECTRICAL CONTACTOR IDENTIFICATION:	
✓		h.	PLUMBING PLAN {Fixture Locations}
	X	i.	HVAC SYSTEM DESCRIPTION <i>DRYER VENTING (SEE NOTE)</i>
	X	j.	INSULATION SCHEDULE: {ENERGY CODE, RESCHECK OR COMCHECK USED} <i>UPDATE NEEDED</i>
✓		k.	RADON IDENTIFICATION
		l.	TYPE OF OCCUPANCY IDENTIFIED <i>R2 TYPE V CONSTRUCTION</i>
		m.	ENGINEERING REVIEW NOTES/NEEDED

Plan Review Sheet
192 Trail Drive Road – Lot #732 – Lakeview Estates
JW Property Investments, LLC

These items that have been identified at plan review:

- F.D.C. Location needs approval from the Alpine Fire District;

GENERAL:

- All plans and specifications need to be compliant with 2021 International Building Codes;
- Revise all plan sheets to reflect what is going to be built;
- Provide a complete set of drawings from the designer of record;
- Remove drawings that are in conflict;
- Remove jurisdictions that do not apply;

FLOOR PLAN

- Sheet – “C10” does not have an engineer’s stamp for the retaining wall;
- Floor plan notes on sheets “A3” and “A4”, #8 Shall read “Provide sprinkler system as required by IBC/IFC Section 903.2.8 Group R
- Section 1108.6.2.2 Apartment Houses – Type B Units; follow the technical requirements in Section 1104 of the ICC - A117.1 (For the first floor);
- Section 1108.7.1.1 one story with type B units required;

ROOF SYSTEM

- Roof overhang minimum Eighteen (18) inch;
- Section 718.4 Draft stopping in attics; Note: If sprinkling attics – Draft stop are not required;
- Section 708.4.2 fire blocks and draft stops in combustible construction exception 4

BUILDING ELEVATIONS

- Building Height is Missing - Needs to be identified on Elevation Page
- Sheet – “A2” – Rear Elevation – Second floor egress windows have a sill height less than thirty-six (36) inches and greater than seventy-two (72) inches above finished grade; See Section 1015.8 - window heights and Section 1031.2.1 - operational constraints.

- Exterior guardrails at upper decks are required to be forty-two (42) inches minimum, Section 1015.3
- Section 1011.11 handrails: flights of stairways shall have handrails on each side and comply with section 1014;

Question – Is there enough space between the top and bottom egress doors and moldings for extensions and returns, Section 1014.6 (See Sheet “A6” - Stair Section)

EXTERIOR MATERIAL SPECIFICATION (Stone Not Specified)

ELECTRICAL PLAN – (**NO** Town Review Completed)

HVAC SYSTEM DESCRIPTIONS: Dryer Venting

- Dryer Venting – the four (4) dryers closest to the center of the building exceed thirty-five (35) feet of duct length; provide dryer model information and identify attic access to locations;

INSULATION SCHEDULE: (Energy Code, Rescheck or Comcheck Used)

- Update Needed

TYPE OF OCCUPANCY IDENTIFIED:

- R2 – Type V Construction



22-02-75

Section 4, Itemc.

MULTI UNIT RESIDENTIAL BUILDING

Permit Application

INFORMATION TO BE PROVIDED BY APPLICANT ~ PLEASE FILL IN ALL BLANKS

PROJECT NAME:

Physical Address:

194 Trail Drive

Legal Description (Lot # and Subdivision):

Lot 733 Lakeview Estates

Description of Work:

Horizontal & verticle work associated with construction of 8 plex

Proposed Building Use:

Rentals

Estimated Valuation of Work:

1.5 Million

Floor Area per Unit:

1208 SF & 1234 SF

First Flr:

5303 SF

Second Flr.

5227 SF

Third Flr:

Basement:

Total Number of Units:

8

Total Unit Square Footage:

1230 SF & 1331

Overall Total Project Square Footage:

10530 SF

APPLICANT/CONTRACTORS AND/OR CONSULTANTS:

Owner:

Rendezvous Custom Homes / Jeff Jeppesen

Phone:

307-733-7477

Mailing Address:

PO Box 11911 Jackson, WY 83002

Contractor:

New Peak Construction Company

Mailing Address:

4733 Heads Up Tetonia, Idaho 83452

Excavating Contractor:

Alpine Excavating

Mailing Address:

PO Box 3309 Alpine, WY 83128



TOWN OF ALPINE - PLAN REVIEW RECORD

Section 4, Itemc.

PERMIT #:

DATE RECEIVED:

APPLICATION DATE: 12/30/24		TYPE OF REVIEW COMPLETED: (Circle One): <u>COMMERCIAL</u> RESIDENTIAL	
INSPECTOR: 8/1/2024		CONTRACTOR: New Peak	
OWNER: Jepsen Project;			
JOB ADDRESS:			
PROJECT DESCRIPTION: Multi-unit Apartment Complex			

Date Received: 10-31-2024

Date Completed: 11-7-2024

YES	NO	TO BE COMPLETED BY TOWN BUILDING OFFICIAL	
✓		PRELIMINARY SITE PLAN INCLUDED WITH DOCUMENTS: <i>NOTE: FDC, LOC NEEDS APPROVAL FROM ALPINE FIRE DEPT.</i> Proposed Vehicular Access, Water/Sewer Connection Locations, Proposed Utility's Locations, Propane Appliances, Driveway (culverts, if required), Setbacks, and <u>onsite drainage facilities {Commercial Only}</u>	
	✓	COMPLIANT WITH 2021 INTERNATIONAL BUILDING AND/OR RESIDENTIAL CODE	
		THREE {3} COMPLETE SETS OF SCALED CONSTRUCTION DRAWINGS STAMPED BY A STATE OF WYOMING LICENSED ENGINEER:	
✓		a.	FOUNDATION
	X	b.	FLOOR PLAN <i>SEE NOTES</i>
	X	c.	WALL SECTIONS <i>SEE NOTES</i>
	X	d.	ROOF SYSTEM - <i>ROOF OVERHANGS DO NOT COMPLY. VERIFY ATTIC VENTILATION</i>
	X	e.	BUILDING ELEVATIONS {Including Building Height from Finished Grade} <i>BUILDING HEIGHT IS MISSING</i>
✓		f.	EXTERIOR MATERIAL SPECIFICATIONS (<i>STONE NOT SPECIFIED</i>)
✓		g.	ELECTRICAL PLAN (INCLUDED {No Town Review Completed})
		ELECTRICAL CONTACTOR IDENTIFICATION:	
✓		h.	PLUMBING PLAN {Fixture Locations}
	X	i.	HVAC SYSTEM DESCRIPTION <i>DRYER VENTING (SEE NOTE)</i>
	X	j.	INSULATION SCHEDULE: {ENERGY CODE, RESCHECK OR COMCHECK USED} <i>UPDATE NEEDED</i>
✓		k.	RADON IDENTIFICATION
		l.	TYPE OF OCCUPANCY IDENTIFIED <i>R2 TYPE V CONSTRUCTION</i>
		m.	ENGINEERING REVIEW NOTES/NEEDED

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192 Trail Drive Road – Lot #732 – Lakeview Estates
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FLOOR PLAN

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- Section 1108.6.2.2 Apartment Houses – Type B Units; follow the technical requirements in Section 1104 of the ICC - A117.1 (For the first floor);
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Question – Is there enough space between the top and bottom egress doors and moldings for extensions and returns, Section 1014.6 (See Sheet “A6” - Stair Section)

EXTERIOR MATERIAL SPECIFICATION (Stone Not Specified)

ELECTRICAL PLAN – (**NO** Town Review Completed)

HVAC SYSTEM DESCRIPTIONS: Dryer Venting

- Dryer Venting – the four (4) dryers closest to the center of the building exceed thirty-five (35) feet of duct length; provide dryer model information and identify attic access to locations;

INSULATION SCHEDULE: (Energy Code, Rescheck or Comcheck Used)

- Update Needed

TYPE OF OCCUPANCY IDENTIFIED:

- R2 – Type V Construction



DESIGN REVIEW PURPOSE & FRAMEWORK

Vision:

Alpine's proximity to rivers and public land along with its economic role in the region are defining characteristics. The town's location is shaped by the Grey's River, Snake River, and Salt River in conjunction with public land. Alpine, WY was incorporated in 1988 making it one of the younger towns in the region. As a result, Design Guidelines in Alpine are more about shaping future growth. The preservation and improvements of public land access can help Alpine develop its unique location. Long-term planning from within the Town of Alpine that prioritizes a positive pedestrian experience and considers the regional vernacular of the Intermountain West helps Alpine improve the quality of the Town.

Intent:

The design guidelines were created to realize the Town's vision statement.

The intent of the guidelines is to direct the physical development of the Town through building design and land planning. These guidelines will act as a tool to coordinate various public and private development proposals and measure how they will further advance the Town's vision. The focus of these guidelines will be on the relationships between private and public spaces, composition, massing, future street walls, and building materials.

Scope:

The purpose of the following guidelines is not to solve the continuous debate over architectural style, but instead to qualify fundamental design principles essential to creating a vibrant Town. Individual architectural style and approach should not be prescribed, but rather encouraged within the fundamental principles described in the following design guidelines. The proposed design guidelines are presented as an aid to property owners, business leaders and designers who wish to make improvements to property in the Town.

Applicability:

All development applications required to follow the currently adopted version of The Town of Alpine Land Use and Development Code are required to comply with the following guidelines

DESIGN REVIEW ELEMENTS

What Alpine
Cares About

BUILDING LOCATION AND ORIENTATION
(view of the development from the street)

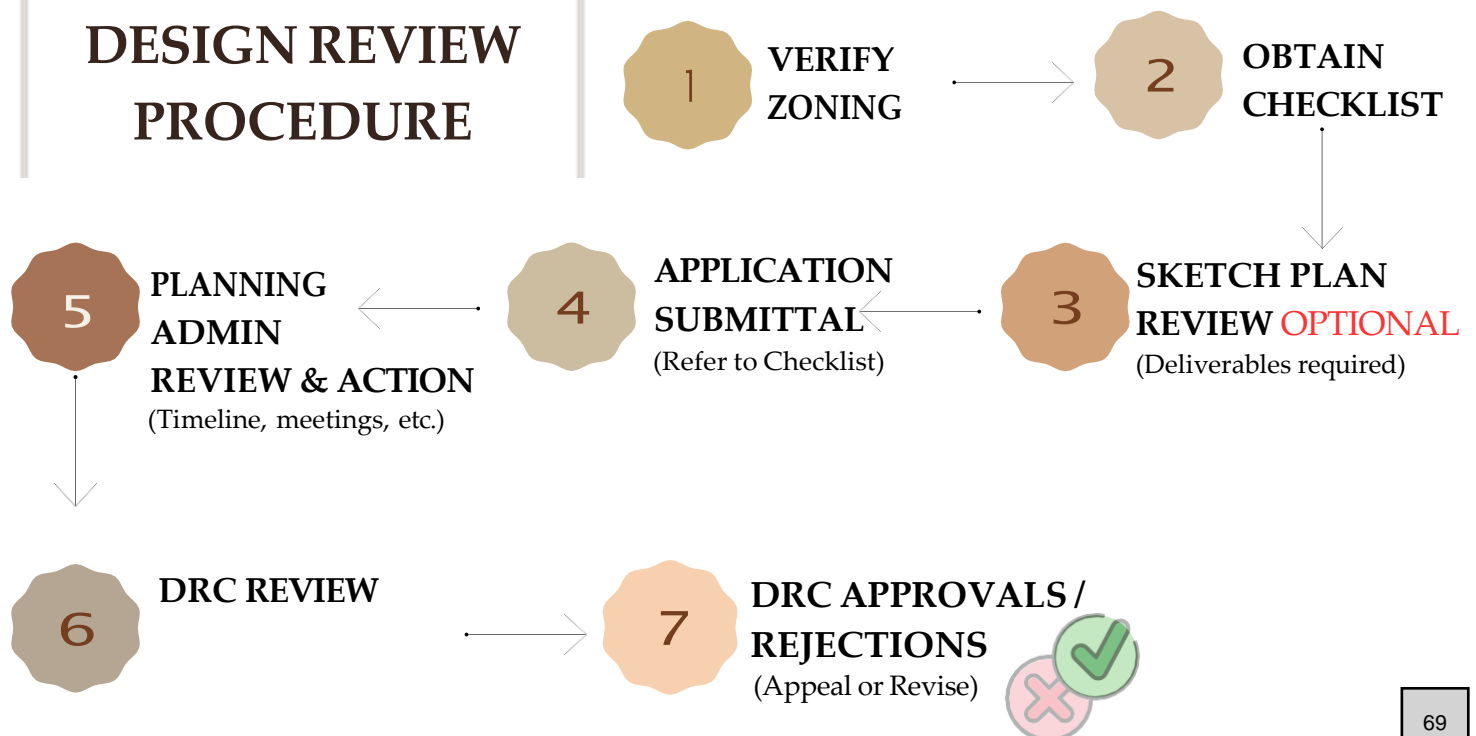
INTERNAL CIRCULATION
(walkways, internal drives, etc.)

SITE DESIGN ELEMENTS
(internal open space, service areas, pedestrian amenities, etc.)

BUILDING DESIGN
(character, scale, details, and materials)

LANDSCAPING SCREENING

DESIGN REVIEW PROCEDURE



DESIGN GUIDELINES

1.0 Public Space:

Public space shall be usable. Public space should be considered as a vital component of every development. It is important to treat the un-built portion of a site as designed, functioning space. Consider all appropriate uses for public space as it relates to:

- 1.1. **Human scale** - develop public space that is desirable and comfortable to inhabit. Use trees, canopies or other building elements to break the perceived height of adjacent façades to create a more human scale.
- 1.2. **Relationships** - public space should engage the interior of a building and relate to the adjacent building's function and use.
- 1.3. **Detail** - details of lighting, signage, benches, paving, planting, canopies, etc. should relate to the overall function of the space.

2.0 Composition:

This guideline addresses the elemental design tools of composition, proportion, and rhythm. These are important tools for achieving a balance between unity and complexity in design.

Composition is defined as the organization of parts of a project to achieve a unified whole.

Proportion is the relation of one part to another or to the whole.

Rhythm is a vocabulary of regular and repetitive elements or the relative variation of such elements.

- 2.1. Consider composition, proportion and rhythm of the materials, surfaces and massing of all building elevations to promote visual interest at the scale of both the automobile and the pedestrian
- 2.2. Use composition, proportion and rhythm of the materials, surfaces and massing to create a sense of entry and a sense of place.
- 2.3. To the degree possible, utilize composition, proportion and rhythm to address adjacent buildings.

3.0 Massing:

A building's mass is defined by its component parts, including the size of its footprint and number of stories. Building mass is also determined by building form, roof shape, and orientation.

A building's form can be a simple rectangular box or a more complex combination of volumes

(3.0 Continued) Massing refers to the size of buildings and how they meet the street. Consequently, massing affects the experience of pedestrians. The way in which a particular building 'meets the street' can produce an exciting and vital experience for the person on the street: it is not overbearing, rather it is engaging and stimulating. To ensure this experience, building massing should address the relationship between the size of the proposed building and the scale of the pedestrian.

Appropriate massing will also create a gentle transition between adjacent zoning areas with no abrupt changes in height or mass of adjacent structures.

3.1. Mass & Height:

The architectural form of development should have a human-scale, pedestrian orientation; the height of buildings should not overwhelm people walking in the vicinity of the buildings.

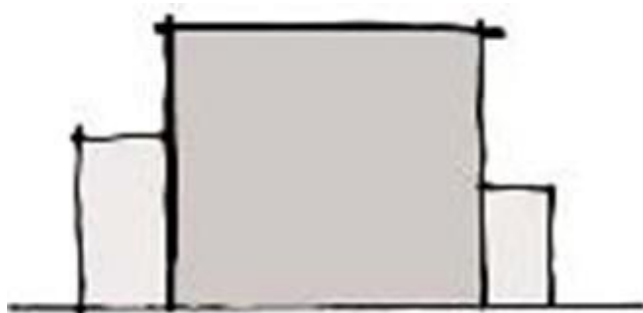
3.1.1. Canopies:

Canopies should be utilized over sidewalks or property lines to give buildings a human scale. (This should work in concert with guideline 3.2, Additive & Subtractive Massing.)

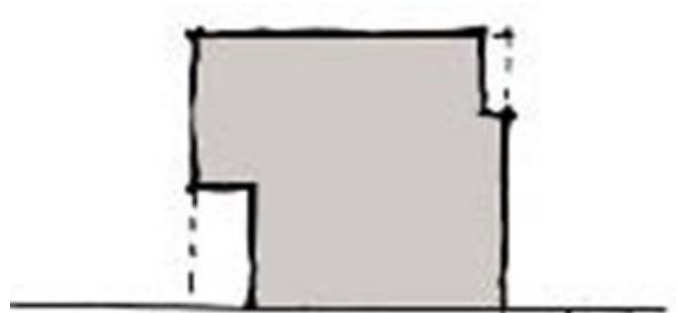
3.2. Additive And Subtractive Massing:

Both additive and subtractive massing approaches are encouraged to reduce the visual impact of large building masses. The additive massing approach increases the size of the building by linking smaller, compatible elements in a way that allows them to remain visible as separate pieces after they are put together. A simple building with additions is an example. The subtractive massing approach is to take a building as a large mass, and then reduce it by taking parts of it away, in a logical manner. This approach is especially useful when buildings are built on the property line.

Utilize both additive and subtractive massing, to reduce the visual impact of building masses. Balconies that partially step into the building and partially cantilever out away from the building face achieve this.



ADDITIVE



SUBTRACTIVE

4.0 MATERIALS:

Exterior materials function as the outer layer of the building envelope and may also serve a structural function. Issues such as weather protection, durability, and maintenance affect the functional aspect of visible exterior materials. These, in turn, affect the long-term performance of the building.

4.1. Application of Materials

These guidelines strongly encourage applicants to consider the inherent nature of materials and their appropriate application.

4.2. Application of materials is at least as important as the materials themselves. Lack of attention to how materials are used can lead to concerns, including, but not limited to, how a material or a surface begins and ends (termination), how a switch from one material to another occurs (transition), and viewing the building as a whole or from many angles (continuity).

Paying attention to which materials and their structural application are selected for vertical supporting elements (compressive), spanning over openings (tensile), or creating building planes such as walls (infilling) will lead to appropriate materials used in believable situations.

To support the continued development of unique architecture, these guidelines do not specifically restrict the use of any materials. Review of proposed materials will consider the positive and negative impacts on the surrounding buildings, natural environment and culture. Proposed materials will be evaluated on this basis.

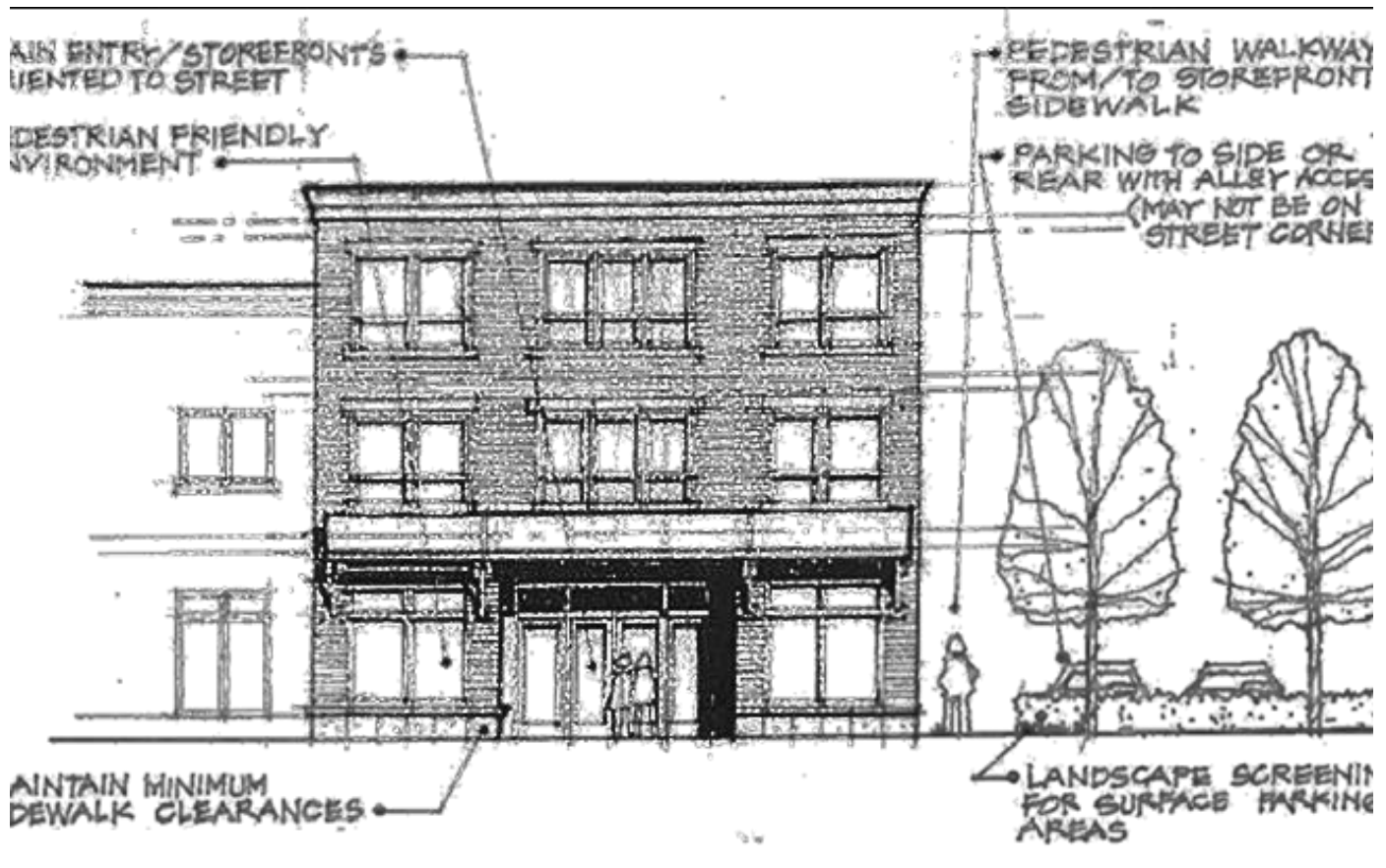
Discuss vinyl, stucco, plastic, etc.

Incorporate Western Character and Exposed Structural elements

6.0 LANDSCAPING:

At a minimum, applicants for Design Review shall address the following criteria. The Planning Commission or Design Review Committee may impose additional requirements or conditions of approval to ensure a project's conformance with the above guiding principles.

- 6.1. **Mature Landscaping** Incorporate any existing, mature vegetation into project designs.
- 6.2. **Volume Landscaping and Screening:** Large trees and/or shrub planting may be required to mitigate the appearance of large blank walls.
- 6.3. All off-street parking and vehicular use areas (including driveways and loading docks) shall have perimeter landscaping.
- 6.4. All plant material shall be either vegetation native to Star Valley or species suitable for the Star Valley climate.



Design Review Committee



SUBMITTAL CHECKLIST

Applicants for the DRC must fill out the below checklist and submit it with their DRC application. Applications without a completed checklist will not be accepted by the Town. A completed checklist means that all the required items are provided in the application or that a valid explanation is provided for any item that is not provided.

- ☐ **NEW SUBMITTAL** ☐ **RESUBMITTAL** (provide list of all changes & previous elevations)

- ☐ **APPLICATION:** Signed application and notarized Letter of Authorization

- ☐ **NARRATIVE:** A clear narrative summarizing the proposed project and intended architectural goals, including how the project meets the design guidelines.

- ☐ **ELEVATIONS:** Elevations and dimensions of all proposed building facades, including colored renderings.

- ☐ **ZONING VERIFICATION:** Demonstration of compliance with zoning dimensional requirements, such as height, setbacks

- ☐ **SITE PLAN:** A site plan that shows proposed structures in the full context of the affected property. The site plan shall show the location and dimensions of all pedestrian & recreational connections.

- ☐ **LANDSCAPE PLAN:** Must show all proposed landscape areas and type of all proposed vegetation.

- ☐ **MATERIALS:** A graphic depiction/materials palette of all major proposed exterior materials.

- ☐ **CONCEPTUAL APPROVAL:** Applicant may apply for conceptual review by the DRC where feedback is provided but no final approval is sought or provided. In such cases, applicant should provide as much detail as possible on project (optional).



PLANNING & ZONING COMMISSION MINUTES

February 11, 2025, at 7:00 PM / 250 River Circle - Alpine, WY 83128

1. **CALL TO ORDER:** The meeting was called to order at 7:07 p.m.
2. **ROLL CALL & ESTABLISH QUORUM:** Ms. Christine Wagner, Planning and Zoning Administrator established roll call, members in attendance were Ms. Melisa Wilson, Mr. Dan Schou, and Ms. Rachael Stewart. A quorum was established. Also in attendance was Ms. Sarah Greenwald, Planning and Zoning Assistant.
3. **TONIGHT'S APPOINTMENTS/ NEW BUSINESS:**
There were no new appointments or new business on the agenda, so the Commission moved directly to the tabled items

4. TABLED ITEMS:

- **SEVERSON, MARK/SID: Lot #50 Riverview Meadows, 425 Snake River Drive (#R1-12-24 Re-Assigned to #R1-01-25) - Single Family Residential Home** - The Commission first revisited the application from Mark/Sid Severson for Lot #50 in Riverview Meadows Subdivision, at 425 Snake River Drive (Permit #R1-01-25). The Commission reviewed the updated vent drawings, which were confirmed to be stamped and in compliance. Mr. Mark Severson joined the meeting via Zoom and confirmed he could hear the discussion. All building review requirements have been submitted and met.

Mr. Dan Schou moved to approve the Residential Building Permit #R1-01-25 for Mr. Mark/Sid Severson at Lot #50 Riverview Meadows, 425 Snake River Drive. Ms. Rachael Stewart seconded the motion. Vote: 3 yes, 0 no, 0 abstain, 0 absent.

- **WOLF, BRAD: Lot #69 Alpine Meadows Subdivision, 85 Columbine Street (#R1-02-25) - Single Family Residential Home** – Mr. Brad Wolf was in attendance to discuss his permit application for Lot #69, Alpine Meadows Subdivision, at 85 Columbine Street (Permit #R1-02-25). This was the first time the finalized plans had been seen. The Commission discussed structural placement, setbacks, and non-structural elements such as the deck steps. It was noted that the project is very tight to the setback lines, and the applicant was informed that a Certificate of Placement would be required if there is any encroachment that would require removal of those elements. There were no further comments or concerns.

Mr. Dan Schou moved to approve the Residential Building Permit #R1-02-25 for Mr. Brad Wolf at Lot #69 Alpine Meadows, 85 Columbine Street. Ms. Rachael Stewart seconded the motion. Vote: 3 yes, 0 no, 0 abstain, 0 absent.

- **JW PROPERTY INVESTMENTS, LLC (JEFF JEPPESEN): Lot #733 "B", Lakeview Estates Subdivision, 194 Trail Drive Road (#R2-02-25) - Multi-Unit Apartment Complex**
- **JW PROPERTY INVESTMENTS, LLC (JEFF JEPPESEN): Lot #732 "B", Lakeview Estates Subdivision, 192 Trail Drive Road (#R2-01-25) - Multi-Unit Apartment Complex**

The two remaining tabled items from JW Property Investments, LLC (Jeff Jeppsen) for Lots #732B and #733B at 192 and 194 Trail Drive Road (Permits #R2-01-25 and #R2-02-25), were briefly discussed. The Commission noted that plans had only recently been submitted due to personnel changes and that preliminary corrections had been sent to the new building inspector. Ms. Wagner confirmed she was awaiting additional feedback from the new building official. Concerns were raised about road access, hillside stability, the lack of retaining wall design, and potential impacts on neighboring properties. The Commission emphasized the importance of geotechnical review and hillside stabilization in future PUD or development code discussions.

Mr. Dan Schou moved to keep both permit application on the table items list for both Multi-Unit Apartment Complex Building Permits #R2-02-25 and #R2-01-25 for Mr. Jeff Jeppesen; Lots #733 and #732 “B”, Lakeview Estates Subdivision, 194 & 192 Trail Drive Road. Ms. Rachael Stewart seconded the motion. Vote: 3 yes, 0 no, 0 abstain, 0 absent.

5. PLANNING AND ZONING DISCUSSION ITEMS:

- **Planned Unit Development (PUD) Application Discussion – 160 US Highway 89** - The Commission reviewed a forthcoming PUD application for 160 US Highway 89, proposed by Creative Properties, LLC. This project involves subdividing three (3) live/work townhome units into individual properties. The Commission engaged in an in-depth discussion about the relationship between the PUD process and subdivision approval, noting that while both processes can run concurrently, PUD approval does not guarantee subdivision approval. It was emphasized that public notification and hearings are required, and final approval will involve both Planning and Zoning Commission and the Town Council. It is the intent of the applicants to submit a PUD application along with a subdivision application.
- **Preliminary Building/Development & PUD Discussion – 856 Elkhorn Drive** - The Commission reviewed a preliminary development and PUD proposal for 856 Elkhorn Drive, submitted by New West Construction. Mr. Rex Doornbos presented site plans for a welding and fabrication shop, plus a commercial building with multiple units. The East building will be prioritized for construction. The applicants are coordinating closely with the Town’s new building official for plan submission along with building and connection fees. Ms. Wagner explained the updated plan review process, including digital submittal to the Town’s new internal permitting system. The Commission agreed with the strategy of issuing separate permits for the East and West buildings to allow for the phased development.
- **LUDC Workshop Revision Review** - The Land Use Development Code (LUDC) workshop discussion followed, beginning with a proposal to formally include construction debris containment in the LUDC. A new section will be created to address this topic near snow storage or parking regulations. Suggestions were made to use flexible language such as “construction debris containment” rather than “dumpster,” to allow for a range of containment methods. The Commission also discussed revisiting food truck regulations, signage, and covered parking requirements. An extensive conversation was held on drainage, stormwater management, and impervious surface thresholds. The Commission recognized the growing need for developers to include grading and drainage plans, especially in R-2 and commercial zones. It was suggested that the Town Engineer be consulted on setting impervious thresholds that would trigger these requirements.
- **Public Comments** – Ms. Patricia McQuade inquired about the status of the Hawthorne Extended Stay Hotel. She noted that the hotel did not appear open to the public via online booking and that the lobby appeared to be used for storage. The Commission confirmed that the first phase of the project received a certificate of occupancy, and that some hospital staff were staying there.

6. PLANNING AND ZONING COMMISSION MEETING MINUTES OF JANUARY 14, 2025. The minutes from January 14, 2025, Planning and Zoning Commission meeting were presented for approval.

Mr. Dan Schou made a motion to approve the minutes, seconded by Ms. Melisa Wilson. Vote: 2 yes, 0 no, 1 abstain (Stewart), 0 absent. Vote: 2 yes, 0 no, 1 abstain (Stewart), 0 absent.

7. TOWN COUNCIL ASSIGNMENT FOR FEBRUARY 18TH, 2025:

Mr. Dan Schou will be the representative in attendance at that meeting.

8. ADJOURN MEETING: Mr. Dan Schou moved to adjourn the meeting. Ms. Rachael Stewart seconded the motion. Vote: 3 yes, 0 no, 0 abstain, 0 absent. Motion carried.

The meeting was adjourned at 8:48 pm.

Melisa Wilson, Chairman

Date

Attest:

Christine Wagner, Planning & Zoning Administrator

Date

Prepared and Transcribed By:

Sarah Greenwald, Planning & Zoning Assistant

Date

**** Minutes are a summary of the meeting ****



PLANNING & ZONING COMMISSION MINUTES

March 11, 2025, at 7:00 PM / 250 River Circle - Alpine, WY 83128

1. **CALL TO ORDER:** The Meeting was called to order at 7:01 p.m.
2. **ROLL CALL & ESTABLISH QUORUM:** Ms. Christine Wagner, Planning and Zoning Commission Administrator established roll call, members in attendance were Ms. Melisa Wilson and Mr. Dan Schou, Ms. Rachael Stewart was absent and excused from the meeting. A quorum was established. Also in attendance was Ms. Christine Wagner, Zoning Administrator, Ms. Gina Corson, Office Assistant.
3. **TONIGHT'S APPOINTMENTS/ NEW BUSINESS:**
 - **NORTH LINCOLN COUNTY HOSPITAL dba STAR VALLEY HEALTH: LOT #189, Alpine Meadows Subdivision, 37 Winter Drive (#MC-01-25):** The Town of Alpine reviewed a Minor Construction permit application from Star Valley Health for an electrical upgrade to the existing x-ray room to allow for the installation of a new MRI machine. Plans include some structural changes to the ceiling to support the new unit.

Key Discussion Points:

- They have submitted all the plans to the Department of Health, the State Electric and Safety Office, and the Fire Marshal but are still awaiting final approval.
- The project has a proposed start date of March 23, 2025.
- Mr. Hunsaker is aware they can not start construction until they receive approval from the Department of Health, State Fire Marshal's office, and State Electric and Safety office but to expedite the process, asked if the commission would consider approving the Town's Minor Construction permit contingent upon receipt of those approvals. Mr. Hunsaker assured the Commission he would share these approvals with the Town as soon as they were approved.
- The Commission expressed they did not feel comfortable approving the application on a contingent basis because they have set a precedent to not allow contingent approvals due to too many people taking advantage of the situation and either starting work before getting the town-requested information and/or documentation or not providing it at all.

Mr. Dan Schou moved to approve the table application until the April 8th, 2025, meeting. Ms. Melisa Wilson seconded the motion. Vote: 2 yes, 0 no, 0 abstain, 1 absent (Stewart). Motion carried.

4. TABLED ITEMS:

- **JW PROPERTY INVESTMENTS, LLC (JEFF JEPPESEN): Lot #733 "B", Lakeview Estates Subdivision, 194 Trail Drive Road (#R2-02-25) - Multi-Unit Apartment Complex-** This item will remain in the tabled items until next scheduled meeting.
- **JW PROPERTY INVESTMENTS, LLC (JEFF JEPPESEN): Lot #732 "B", Lakeview Estates Subdivision, 192 Trail Drive Road (#R2-01-25) - Multi-Unit Apartment Complex –** This item will remain in the tabled items until next scheduled meeting. Ms. Christine Wagner updated the Commission regarding a meeting with Mr. Killpack, saying that he is working on the power line issues and will get all of it put together and submit it. He hopes to get it all together for April. The Building Official has made a few comments on the plans and is reviewing the project to ensure he is up to speed on the project.

Ms. Melissa Wilson asked Ms. Christine Wagner to please remind the Building Official of their concerns:
1.) The retaining wall 2.) Power lines 3.) De-stabilization of the road.

5. PLANNING AND ZONING DISCUSSION ITEMS:

- a. **LUDC Workshop Revision Re-Review:** Ms. Christine Wagner reviewed updates to the LUDC. One change was moving deck permits from affidavits to a Minor Construction Permit. Ms. Melissa Wilson had concerns about how that would affect the timeline for homeowners to receive their permits, especially since we have such a small window for building as is. Other concerns were raised regarding how the permit applications will flow or be processed and approved with the addition of the Building Official and Design Review Committee. Commission member Mr. Schou raised concerns about defining where and how the height of structures should be measured. He is concerned about the potential of citizens adding large amounts of fill to a property and then they build upon the fill. All were in agreement a standard and definition needs to be agreed upon and added to the ordinance.
- b. **Design Review Committee Guidelines Review:** Mr. Brett Bennet, Chairman of the Design Review Committee, have referenced some design guidelines of similar communities. They are trying to decide on the specific guidelines to include or exclude, for example adding materials type exclusion. They wanted to include the Planning and Zoning Commission and get some feedback.
- c. **Design Review Checklist:** Mr. Brett Bennett asked the Planning and Zoning Commission to review and provide any feedback.
- d. **Potential Zoning & Building Code Violation Complaint from Gina Sesto:** Ms. Christine Wagner informed the Commission that the complaint was forwarded to the Code Enforcement Officer for follow-up. She will prepare a letter to send to Mr. Sesto.

6. **TOWN COUNCIL ASSIGNMENT: Town Council Meeting- March 18th, 2025:** Mr. Dan Schou will be the representative in attendance at that meeting.

7. **ADJOURN MEETING: Mr. Dan Schou moved to adjourn the meeting. Ms. Melisa Wilson seconded the motion. Vote: 2 yes, 0 no, 0 abstain, 1 absent (Stewart). Motion carried.**

The meeting was adjourned at 8:55 pm.

Melisa Wilson, Chairman

Date

Attest:

Christine Wagner, Planning & Zoning Administrator

Date

Prepared and Transcribed By:

Gina Corson, Planning & Zoning Assistant

Date

** Minutes are a summary of the meeting **