PLANNING & ZONING COMMISSION

September 09, 2025, at 7:00 PM

250 River Circle - Alpine, WY 83128

AGENDA

1. **CALL TO ORDER:**
2. **ROLL CALL & ESTABLISH QUORUM:**
3. **TONIGHT'S APPOINTMENTS/ NEW BUSINESS:**
   a. Trujillo, Alysha- Hwy 89 Lot #1 Twin Pines Addition- Minor Construction (MC-0825-0001)- Install Kitchen Hood Vent
   b. Reynolds, Daniel, and Patricia-469 Greys River Loop Lot #12 Greys River Village #1- Minor Construction (MC-0825-002)- Deck repair
   c. Hladky, Kate and Cox Jayden 57 Aster Loop Lot #9 Alpine Meadows- Single-family Residential (R1-0925-0001)
   d. Alpine Education Foundation for Town of Alpine- Proposed Lot #15 of Alpine West Third Addition- Special Use Permit- Charter School Site Plan
   e. Rendezvous Custom Homes (Jeppsen, Jeff)- 194 Trail Dr. Lot #733 of Lakeview Estates- Multi-family Residential (R2-0001-25)- Site plan for 8-plex
4. **TABLED ITEMS:**
5. **UNFINISHED/ONGOING BUSINESS:**
6. **PLANNING/ZONING CORRESPONDENCE:**

PLANNING AND ZONING DISCUSSION ITEMS:

7. **APPROVAL OF MINUTES:**
   a. August 12, 2025- Regular Meeting
   b. July 31, 2025- Work Session
8. **TOWN COUNCIL ASSIGNMENT:**
9. **ADJOURN MEETING:**

Town of Alpine 7/31/25

Yankee Doodles LLC has my permission to have the necessary work done to install a conforming hood and fire suppression system in the kitchen area of the Yankee Doodles Restaurant, 20 So. Hwy 89, Alpine, Wy, 83128

Donald Goetz
Owner of said property

Town of Alpine

RESIDENTIAL PERMIT APPLICATION

All applicants seeking a Residential Building Permit from the Town of Alpine, Wyoming, must submit a complete application in accordance with the procedures outlined in the Town's Land Use and Development Code. The application must include all required documentation demonstrating compliance with applicable zoning regulations and the Town's Comprehensive Plan.

Property Owner Information: Please fill out the information below for the legal property owner.

Full Name: Trujillo (Last) Alysha (First) (M.I.)

Mailing Address: PO Box 3021 (City) Alpine (State) WY (Zip) 83128

Email Address: damyankees01@gmail.com

Phone Number: 307-264-4894 / 307-654-1076

Authorized Representative: Daniel Cordova

If the applicant is not the property owner, written authorization from the property owner must be attached to this application.

Project Description:

Legal Description: Instal kitchen hood & make up air
(Lot #, Block, Tract, & Subdivision)

Physical Address: 20 HWY 89 Alpine WY 83128

Complete Description of Work: Install a conforming Hood & Fire Suppression System

Property Zoning District:

Estimated Valuation of Work : $35,000.00

Proposed Building Use: Restaurant

Floor Area:				
	First Floor	Second Floor	Third Floor	Basement

Total Square Footage including Garage: _____

Contractors and/or Consultants:

All Contractors Listed Below Must Have A Town Of Alpine Business License

Contractor: _____

Mailing Address: _____

City State Zip

Email Address: _____ Phone Number: _____

Excavating Contractor: _____

Mailing Address: _____

City State Zip

Email Address: _____ Phone Number: _____

Electrical Contractor: Servant Electric

Mailing Address: PO Box 3847 Alpine WY 83127

City State Zip

Email Address: Kevin.Arnst@srvpwr.com Phone Number: 307 713 7378

Plumbing Contractor: ~~[illegible]~~ 307 mechanical

Mailing Address: 1100 84 North Hwy 89 Etna WY 83118
City State Zip

Email Address: admin@307mechanical.com Phone Number: 1-307-248-2330

Mechanical Contractor: ~~Custom air Solutions~~
Aaron McCormick

Mailing Address: P.O Box 5638 Etna WY 83118
~~PO Box 12991 Jackson WY 83002~~
City State Zip

Email Address: ~~Kevin@customairsolutions llc.net~~ Aaron@307mechanical.com Phone Number: ~~307-734-4822~~ 307-248-2330

Project Engineer: Same as Above

Mailing Address:
City State Zip

Email Address: Phone Number:

REQUIRED SUBMITTALS:

The following documents must be submitted with all residential building permit applications:

Site/Plot Plan: To Scale (Min. 18" x 24")

A scaled site or plot plan indicating:

- Location of proposed structures (building envelope)
- Distances from proposed structures to property lines (front, back, and sides)
- Proposed vehicular access
- Final grade of the project site
- Septic system or sewer connection location
- Water connection location
- All above- and below-ground utilities (e.g., power, propane)
- Easements, if applicable
- Garage square footage and driveway dimensions
- Setbacks
- Onsite drainage facilities
- Snow storage areas with dimensions (square footage)

One (1) hard copy and one (1) digital copy are required.
Please refer to the permit checklist for complete details.

Construction Drawings: To Scale (Min. 2' x 3')

One (1) complete set of scaled construction drawings that illustrate:

- Foundation
- Floor plans
- Typical wall section
- Roof system
- Building elevations
- Exterior materials
- Electrical, plumbing, radon, and HVAC systems

All structures greater than 300 square feet must be designed, stamped, and certified by a civil or structural engineer licensed in the State of Wyoming.

One (1) digital copy of the full construction drawing set is also required.
Please refer to the permit checklist for additional specifications.

ADDITIONAL REQUIRED DOCUMENTS (To Scale if applicable)

- **One (1)** sets of any other construction documents or related materials the applicant deems relevant.
- All submitted documents must be stamped and certified by a **civil or structural engineer** if related to structures greater than 300 square feet.
- **One (1)** complete digital copy of all submitted materials, including the site plan and construction drawings, must be provided. This digital file is for internal use only and will not be shared with third parties in accordance with copyright guidelines.
- **One (1)** Digital Calculations Packet

By signing below as the Property Owner or an Authorized Representative, I hereby certify that all information provided in this Special Use Permit application is true, accurate, and complete to the best of my knowledge. I acknowledge that any false or misleading information may result in delays, denial, or revocation of the permit.

Signature: _____

Printed Name: Anyshia Trujillo

Title/Relationship to Property (if applicable): Co-owner / lessee

Date: 8-21-25

Following Submission, the Process Is as Follows:

- The applicant submits a **fully completed Residential Building Permit Application** along with all required documents and applicable fees to the **Zoning Administrator** for initial review.
- The Zoning Administrator conducts a **completeness and compliance review** of the application and accompanying site plan. The site plan is then submitted to the **Planning and Zoning Commission** for evaluation at a public meeting.
- The Planning and Zoning Commission will **approve or deny** the proposed site plan. If denied, the applicant may appeal the decision to the **Alpine Town Council** pursuant to the procedures outlined in **Part 5 – Appeals & Enforcement** of the Land Use and Development Code.
- If approved, the Zoning Administrator then submits the full building permit application, including all required construction documents, to the **Building Official** for technical review.
- The Building Official will review the submitted plans for structural, mechanical, electrical, and code compliance. The application will be **approved or denied** based on this review. If denied, the applicant has the right to appeal the decision to the Town Council.
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- Following completion of the Site Work, Foundation, & Mechanical inspection, the applicant must submit a **Certificate of Placement**.
- Upon final approval of all inspections, the **Certificate of Occupancy** will be:
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  - Issued by the **Town Clerk**

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MC-0825

Town of Alpine

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Email Address: damyankees01@gmail.com Phone Number: 307-654-1076

Cordova Daniel 307-264-4894

Authorized Representative: Daniel Pe

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Floor Area:

First Floor	Second Floor	Third Floor	Basement

Total Square Footage including Garage: _____

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Mailing Address: _____

City State Zip

Email Address: _____ Phone Number: _____

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Mailing Address: _____

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Mailing Address: PO Box 3847 Alpine WY 83127

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Plumbing Contractor: ~~[illegible]~~ 307 mechanical

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City State Zip

Email Address: admin@307mechanical.com Phone Number: 1-307-248-2330

Mechanical Contractor: ~~Custom air solutions~~

Aaron McCormick

Mailing Address: P.O Box 5638 Etna WY 83118
~~PO Box 12991 Jackson WY 83002~~
City State Zip

Email Address: ~~Kevin@customairsolutions llc.net~~ Aaron@307mechanical.com Phone Number: ~~307-774-4822~~ 307-248-2330

Project Engineer: Same as Above

Mailing Address: _____
City State Zip

Email Address: _____ Phone Number: _____

REQUIRED SUBMITTALS:

The following documents must be submitted with all residential building permit applications:

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- Final grade of the project site
- Septic system or sewer connection location
- Water connection location
- All above- and below-ground utilities (e.g., power, propane)
- Easements, if applicable
- Garage square footage and driveway dimensions
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Signature: _____

Printed Name: Myshia Trujillo

Title/Relationship to Property (if applicable): Co-owner / lessee

Date: 8-2125

Following Submission, the Process Is as Follows:

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  - Issued by the **Town Clerk**

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V. April 2025

Minor Construction
Permit Application

INFORMATION TO BE PROVIDED BY APPLICANT ~ ALL BLANKS MUST BE FILLED IN

PROJECT NAME:

Physical Address: 469 Greys River Loop, Alpine WY
Legal Description (Lot # and Subdivision): Lot #21 at Greys River Village
Detailed Description of Work to be Completed (Intent of Permit):

APPLICANT/CONTRACTOR/CONSULTANTS:

Owner: Tricia Reynolds	Phone: 307.200.1580
Mailing Address: 469 Greys River Loop, Alpine WY	
Contractor: Norse Construction LLC	Phone: 307.226.0430
Mailing Address: 246 Scrub Oak Dr. #7710 Star Valley Ranch, WY 83127	
Electrical Contractor: N/A	Phone:
Mailing Address:	
Plumbing Contractor: N/A	Phone:
Mailing Address:	
Mechanical Contractor: N/A	Phone:
Mailing Address:	
Authorized Representative if different from Owner: Mike Hall - Norse Construction LLC	

V. April 2025

Signature of Owner or Authorized Representative:	Date: 7/22/2025

FOR USE BY TOWN:

Date Received:	**Permit #:**	**Use Zone:**
Permit Fees:	**Payment: (Check#/Cash)**	**Date Paid:**

Length: 174.9 Feet

Length: 94.4 Feet

25'

12'5"

16'

96'

Sewer

29

23'

House

43'4"

8'

Dock

21

33'

Driveway

40'

87'

84'

Length: 56.9 Feet

6'6"

15'

Alpine

Length: 139.1 Feet

Greys River Loop

Reynolds, Daniel & Patricia
469 Greys River Loop
Lot #1 Greys River Village #

MC-00825-0002

Town of Alpine
PROJECT AUTHORIZATION FORM

Application Submittal Date:				
Type of Review & Authorization Needed: (Circle One)	Design Review	Site Plan	Public Works	**Structural Review**

Property Owner - Project Information:

Owner:	**Reynolds**
Job Address:	**469 Greys River Loop Road**
Description of Project:	**Deck Replacement**

Authorization to Proceed:

Authorization Completed By:	Dee J. Rammell	
Status of Authorization:	**Approval**	

Notes:

- 18" minimum eave overhang to be maintained
- Town of Alpine Land Use and Development Code dictates a ground snow load of 143 psf. Resubmission not needed.

Permit Issuance:

Town Clerk: Signature		Date:

Town of Alpine

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Property Owner Information: Please fill out the information below for the legal property owner.

Full Name: Hladky (Last) Kate (First) A (M.I.)

Mailing Address: PO Box 10734 Jackson (City) WY (State) 83002 (Zip)

Email Address: katehladky@yahoo.com Phone Number: 307-680-3030

Authorized Representative:

If the applicant is not the property owner, written authorization from the property owner must be attached to this application.

Project Description:

Legal Description: Alpine Meadows Lot #9
(Lot #, Block, Tract, & Subdivision)

Physical Address: 57 Aster Loop Alpine, WY 83128

Complete Description of Work: New construction of a 1-story single-family residence with below-grade basement and attached garage

Property Zoning District: R1 Estimated Valuation of Work :

Proposed Building Use: Residential Single-Family

Floor Area:	2894 ft²			2148 ft²
	First Floor	Second Floor	Third Floor	Basement

Total Square Footage including Garage: 5042 ft²

Contractors and/or Consultants:

All Contractors Listed Below Must Have A Town Of Alpine Business License

Contractor: Self

Mailing Address: _____

City State Zip

Email Address: _____ Phone Number: _____

Excavating Contractor: Salt River Excavation - Keith Jackson

Mailing Address: #7004 / 587 Alpine Way Star Valley Ranch WY 83127

City State Zip

Email Address: saltriverexcavation@gmail.com Phone Number: 307-887-5330

Electrical Contractor: CSI Electrical LLC - Carey Wendling

Mailing Address: PO Box 4408 Gillette WY 82717

City State Zip

Email Address: carey@csihvac.com Phone Number: 307-682-4050

Plumbing Contractor: Veterans Plumbing - Boon Johnson

Mailing Address: 330 Wright St. Thayne WY 83127
City State Zip

Email Address: vetplumbing40@gmail.com Phone Number: 307-248-2264

Mechanical Contractor: CSI - Comfort Systems INC - Carey Wendling

Mailing Address: PO Box 4468 Gillette WY 82717
City State Zip

Email Address: carey@csihvac.com Phone Number: 307-682-4050

Project Engineer: Sawyer Zimmerman - Chet Lockard Associates Architecture

Mailing Address: 1938 Harney St Laramie WY 82072
City State Zip

Email Address: Sawyer@claarchitecture.com Phone Number: 307-871-7210

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- The Planning and Zoning Commission will **approve or deny** the proposed site plan. If denied, the applicant may appeal the decision to the **Alpine Town Council** pursuant to the procedures outlined in **Part 5 – Appeals & Enforcement** of the Land Use and Development Code.
- If approved, the Zoning Administrator then submits the full building permit application, including all required construction documents, to the **Building Official** for technical review.
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Signature: Kate Hackl

Printed Name: Kate Hackl

Title/Relationship to Property (if applicable): Owner

Date: 9/3/25

STRUCTURAL GENERAL NOTES

DESIGN LOADS & GOVERNING BUILDING CODE

Code: International Residential Code (IRC) - 2024 Edition w/ City of Alpine Amendments

Roof:
- Roof Snow Load, (Pf or Ps)..... 100 psf
- Ground Snow Load, (Pg, ASCE 7)..... 143 psf
- Roof Dead Load..... 20 psf

Floor:
- Residential Live Load..... 40 psf
- Floor Dead Load..... 15 psf

Wind:
- Ultimate (Basic) Design Wind Speed, $V_{(ULT)}$..... 115 MPH (3-Second Gust)
- Nominal Design Wind Speed, $V_{(ASD)}$..... 90 MPH (3-Second Gust)
- Importance Factor, I..... 1.0
- Exposure..... C

Seismic:
- Seismic Design Category..... D

Deflection:
- Roof:
  - Live Load..... L/360
  - Total Load..... L/240
  - Maximum Total Load Vertical Deflection..... 1 1/4"

GENERAL CONSTRUCTION NOTES

1. The Structural Contract Documents are intended to be used in conjunction w/ the plans of all other disciplines working on the project. The contractor is responsible for the coordination of all required information indicated on the Structural Contract Documents & incorporating these requirements into the shop drawings of all other disciplines prior to submittal to CLA Architecture.
2. Information provided within the Structural Contract Documents is subject to all requirements specified within the governing building code. The contractor shall be familiar w/ all portions of the governing building code that impact the type of construction being performed. For conditions where the Structural Contract Documents conflict w/ the governing building code, the more stringent requirements shall apply. The contractor shall keep a copy of the governing building code on site at all times during the construction phase of the project for reference. CLA Architecture shall be notified of any modifications resulting from a more stringent code requirement prior to construction for verification & coordination.
3. Modifications to the Structural Contract Documents due to conditions at the site that are unknown or concealed at the time of design do not fall within the original scope of work of the project. Required modifications shall be performed as additional services as outlined in the project contract. The Engineer shall be notified in writing by a Request for Information (RFI) to provide recommendations for resolution of the modification requested.
4. Dimensions & elevations indicated on the Structural Contract Documents shall be coordinated by the contractor w/ all other disciplines prior to the beginning of construction. Discrepancies shall be brought to the attention of the Architect. Scaling the Structural Contract Documents is not permitted.
5. The contractor shall verify field conditions including existing utilities, sub-grade & above grade conditions which may interfere w/ construction & notify the applicable disciplines for modifications as required.
6. In the event of discrepancies between, project specifications, general notes, plans & details, the most stringent requirements shall apply unless approved in writing.
7. Coordinate all openings through roof, floors, & walls w/ the appropriate disciplines. The penetration of structural members, unless specifically indicated on the Structural Contract Documents is not permitted without the review & consent of CLA Architecture including post-tensioned slab on grade & all elevated slab construction. Openings & penetrations brought to the attention of the Engineer after the Structural Contract Documents are submitted to the city for review shall be subject to the requirements outlined in the Shop Drawings & Submittals section of the general notes.
8. All items embedded into concrete or masonry shall be positively secured against the hydraulic forces from concrete placement or incidental contact from tools or equipment during concrete placement. The special inspector shall verify all embedded items are secured prior to placement of concrete.
9. Unless specifically detailed &/or specified on the Structural Contract Documents, stairs, balusters, half-walls & railings for decks, balconies, awnings, sunshades & walkways as well as site retaining walls & improvements have not been designed by CLA Architecture. Design & construction of these elements, when not expressly shown on the Structural Contract Documents, are the responsibility of the general contractor. These elements are considered design-build & the general contractor shall submit plans & calculations, sealed & signed by a professional engineer licensed in the state where the work is being performed.

STRUCTURAL ERECTION & BRACING REQUIREMENTS

1. The structural drawings illustrate the completed structure w/ elements in their final positions, properly supported & braced. These construction documents contain typical & representative details to assist the contractor. Details shown apply at all similar conditions unless noted otherwise.
2. Although due diligence has been applied to make the drawings as complete as possible, not every detail is illustrated, nor is every exceptional condition addressed. All proprietary connections shall be installed in accordance w/ the manufacturers' recommendations. All work shall be accomplished in a workmanlike manner & in accordance w/ the governing building code, local amendments, & local ordinances.
3. The general contractor is responsible for coordination of all work, including layout & dimension verification, materials coordination, shop drawing review, & the work of subcontractors. Any discrepancies or omissions discovered in the course of the work shall be immediately reported to the architect for resolution. Continuation of work without notification of discrepancies relieves the architect & engineer of all liability.
4. Unless otherwise specifically indicated, the Structural Contract Documents do not describe means, methods, techniques or sequences of construction. The Contractor, in the proper sequence, shall provide proper shoring & bracing as may be required during construction & is responsible for the procurement of all engineering services required to achieve the final completed structure. The contractor, in the proper sequence, shall perform or supervise all work necessary to achieve the final completed structure, & to protect the structure, workmen, & others during construction. Such work shall include, but not be limited to, bracing, shoring for construction equipment, shoring for excavation, formwork, scaffolding, safety devices & programs of all kinds, support & bracing for cranes & other erection equipment, & the dynamic effects of thermal variations on structural elements & connections during construction.
5. Do not backfill against basement or retaining walls until supporting slabs & floor framing are in place & securely anchored unless adequate bracing is provided. Structural steel frames are "non-self-supporting" per AISC Code of Standard Practice. Temporary bracing shall remain in place until all floors, walls, roofs & any other supporting elements are in place. The architect & engineer bear no responsibility for the above items & observation visits to the site do not in any way include inspection of them.
6. Where periodic or continuous inspection is required by these documents, governing building code, local amendments, or local ordinance, the owner shall employ an independent inspector certified in the particular area of concern. The inspector shall be responsible to, & report to, the architect & building department.

FOUNDATION DESIGN (Footings, Presumptive Load Bearing Values)

1. The foundation design is based on presumptive load bearing values of foundation materials per table R401.4.1(1) of the IRC.
2. Conventional Spread Footings:
   a. Maximum Allowable Bearing Pressure..... 1,500 psf
   b. Minimum Frost Depth..... 36"
3. The site shall be prepared in accordance w/ the project geotechnical report prior to foundation construction.
4. All footings shall be placed on adequate bearing stratum or to a min. depth as shown on the drawings, whichever is deeper.
5. A qualified geotechnical engineer shall observe excavations prior to concreting operations to verify the bearing stratum is properly prepared. A copy of a field report shall be transmitted to the engineer of record.
6. The contractor is to provide adequate de-watering measures for the site during earthwork & construction of foundations.

REINFORCED CONCRETE

1. Design is based on "Building Code Requirements for Reinforced Concrete" (ACI 318 - Latest Edition). Concrete work shall conform to "Specifications for Structural Concrete for Buildings" (ACI 301 - Latest Edition). Hot & cold weather shall be in conformance w/ ACI 305 & ACI 306 respectively.
2. Structural concrete shall have min. 28-day compressive strengths as follows:
   a. Grade Beams & Foundation Walls..... 4,000 psi
   b. Footings / Piers..... 4,000 psi
   c. Interior Slabs-On-Grade..... 4,000 psi
   d. Exterior Slabs-On-Grade..... 4,500 psi
   e. Other..... 4,000 psi
3. Cement shall be Type I/II Portland Cement, conforming to ASTM C150 or Type IL conforming to ASTM C595.
4. Maximum permissible Water/Cement ratio shall not exceed 0.50.
5. Aggregate size shall not exceed 3/4" unless noted otherwise.
6. Chloride admixtures shall not be used.
7. Concrete exposed to weather shall have a min. air entrainment of 6 ± 1 1/2 percent.
8. Air entrainment may be used for interior concrete not exposed to weather but may result in finishing complications.
9. Fly ash shall conform to ASTM specification C618, Class C or Class F. Fly ash shall not exceed 20% of the total weight of cementitious material unless noted otherwise.
10. The concrete information provided is a performance specification indicating the final in-place concrete requirements only. The actual concrete mix design is provided by the concrete supplier and shall be sealed and signed by a Professional Engineer licensed in the state where the work is being performed. CLA Architecture is not responsible for the performance of the mix during construction, or the means & methods required to attain the specified in-place concrete requirements. The contractor & concrete supplier should consider the required means & methods for each mix design to ensure performance.
11. Slabs & grade beams shall not have cold joints in a horizontal plane. Where stop in concrete placement is necessary at a point other than shown on these drawings, contact the Structural Engineer for direction. Vertical construction joints within grade beams shall be made within the center third of the span between supports. Horizontal shear keys or a roughened surface shall be provided. All reinforcing shall be continuous through construction joints.
12. Reinforcing Bars shall conform to ASTM A615 or ASTM A706. All bars shall be Grade 60. Bars to be welded shall conform to ASTM A706. Detailing, fabrication, & placement of reinforcing steel shall be in accordance w/ the "Manual of Standard Practice for Detailing Reinforced Concrete Structures (ACI 315 - latest ed.)". No splices of reinforcement shall be made & no welding to reinforcing shall be permitted except as shown or as approved by the Structural Engineer. Any welding of reinforcing thus approved shall be done by certified welders in strict conformance to the "AWS Structural Welding Code - Reinforcing Steel" of the American Welding Society (AWS D1.4 latest ed.). "Tack" welding of/to reinforcing will not be permitted under any circumstances. min. length of lapped splices shall be Class B tension splices as indicated in the reinforcing bar splice schedule on this sheet, unless noted otherwise. Make all bars continuous at corners/intersections or provide corner bars of equal size. Welded wire mesh shall be lapped one full mesh at sides & one full mesh plus 2" at the ends but not less than 6" & shall be wire tied.
13. Reinforcing bar extending from surface of cured concrete shall not be twisted in order to achieve correct alignment. Contact CLA Architecture for repair at all locations where reinforcing bar hooks or extensions are not placed w/ correct orientation or where bars are twisted inadvertently.
14. Where cont. bars in beams/grade beams, & walls must be spliced, slice top bars at mid-span & splice bot. bars over supports.
15. Unless noted otherwise on plan or in details, concrete protection for reinforcement in cast-in-place conc. shall be as follows:
   a. Conc. cast against & permanently exposed to earth..... 3"
   b. Formed surfaces exposed to earth or weather:
      #6 through #11 bars..... 2"
      #5 bar, W31 or D31 wire, & smaller..... 1 1/2"
   c. Conc. not exposed to weather or in contact w/ ground:
      Slabs, walls, joists:#11 bar & smaller..... 3/4"
   d. Beams, columns:
      Primary Reinforcement..... 1 1/2"
   e. Stirrups, Ties, Spirals..... 1 1/2"
16. Provide (2) #5 bars, one each face, w/ 2'-0" projection on all sides of openings in concrete, unless noted otherwise.
17. Re: plan for slab-on-grade reinforcing.
18. Provide a 10-mil min. thickness polyethylene vapor retarder between the subgrade and concrete slab-on-grade with joints lapped not less than 6". Contractor to verify with Architect if an increased thickness is required.

DIMENSION LUMBER, TIMBERS, & STRUCTURAL SHEATHING

1. All dimension lumber and timbers used for structural framing shall be Hem-Fir #2, or better, visually graded as follows:
   a. 2" thick, 4" wide..... No. 2 or better Fb = 850 psi
   b. 2"-4" thick, 5" & wider..... No. 2 or better Fb = 850 psi
   c. 5" & thicker, 5" & wider..... No. 1 or better Fb = 975 psi
2. Refer to Wall Stud Schedule for required stud framing.
3. All wood in contact with concrete and exposed to weather shall be preservative treated and referred to as "P.T." herein. If a material other than CCA treated is selected, all fasteners in contact with the treated lumber (including nails, anchor bolts, etc.) shall be "hot-dipped" galvanized or of stainless steel.
4. Provide 1 x 4 cross bridging not over 8'-0" on center for all wood joists where depth is equal to or more than 6 times thickness, and 2x blocking between joists at supports. Standard grade lumber may be used for bridging and blocking.
5. All wood connectors called for on the drawings are as manufactured by the Simpson Strong Tie Company. Connectors by other manufacturers may be used if the load capacity is equal to or greater than the connector specified. Using the manufacturer's furnished nails and bolts for the connection indicated.
6. Structural sheathing:
   a. Structural sheathing for roof, wall and floor sheathing shall be APA Rated Exposure 1 unless noted otherwise on the general shear wall schedule with exterior glue and shall conform to American Plywood Association Standard PS 2, latest edition.
   b. Diaphragm sheathing shall be of the thickness and index number shown on plans, placed with the face grain perpendicular to supports and with end joints staggered.
   c. Nails shall be of the size and spacing shown on the plans. Shear walls shall be sheathed and nailed as indicated in the Shear Wall Schedule. Screws shall be an acceptable substitution for cooler nails where applicable by table 2306.4.5.
   d. Provide suitable edge support by use of ply clips, tongue and groove panels or solid wood blocking between supports.
   e. Wood structural panels or wood structural sheathing indicated on plan may be Plywood or Oriented Strand Board (O.S.B.) at the contractor's option provided all specified requirements for Grade, glue, span rating, direction of application, etc. are met.
7. Fasten all wood members with common nails according to the International Building Code schedule (2304.9.1) unless shown otherwise. Minimum end and edge distances for bolts, nails, or patterns of fasteners shall comply with the IBC Chapter 23 and the National Design Standard, N.D.S, Chapter 11, latest edition.
8. Fireblocking in all walls shall be provided as required by the IBC or the Local Building Code, whichever is more stringent, or as specifically indicated in the Architectural Drawings.

PLANT FABRICATED / ENGINEERED WOOD FRAMING

1. Pre-Engineered "plated" roof & floor trusses shall be designed to support the full dead loads & the superimposed design loads noted above, in the Wall Stud Schedule or on the drawings. Web arrangement & member forces shall be determined by the fabricator.
2. "I-joist" members shall be as manufactured by Boise Cascade or approved equal & shall carry ICC approval for the composite section. Bridging & blocking shall be installed & erection requirements shall be as recommended by the manufacturer.
3. Typical framing rim board shall be 1 1/4" wide by full depth continuous LSL. As an alternate, the LSL rim may be replaced by an end wall floor truss provided the end wall floor truss design accounts for the appropriate stacked loading of all levels above. Contractor shall coordinate w/ the truss manufacturer if alternate is desired.
4. Laminated Veneer Lumber (LVL): Beam Members noted as "LVL" on these plans shall be supplied in the net sizes as called out & shall be manufactured by Boise Cascade or approved equal. The min. allowable design values shall be:
   a. Modulus of elasticity (E):..... 2,000,000 psi
   b. Flexural stress (Fb):..... 2,600 psi
   c. Compression Perp. to Grain (Fc,perp):..... 750 psi
   d. Compression Para. to Grain (Fc,para):..... 2,510 psi
   e. Horizontal Shear (Fv):..... 285 psi
5. Laminated Strand Lumber (LSL): Beam Members noted as "LSL" on these plans shall be supplied in the net sizes as called out & shall be manufactured by Boise Cascade or approved equal. The min. allowable design values shall be:
   a. Modulus of elasticity (E):..... 1,550,000 psi
   b. Flexural stress (Fb):..... 2,325 psi
   c. Compression Perp. to Grain (Fc,perp):..... 900 psi
   d. Compression Para. to Grain (Fc,para):..... 2,170 psi
   e. Horizontal Shear (Fv):..... 310 psi
6. Parallel Strand Lumber (PSL): Members noted as "PSL" on these plans shall be supplied in the net sizes as called out & shall be manufactured by Trus Joist or approved equal. The min. allowable design values shall be:
   a. Modulus of elasticity (E):..... 2,000,000 psi
   b. Flexural stress (Fb):..... 2,900 psi
   c. Compression Perp. to Grain (Fc,perp):..... 750 psi
   d. Compression Para. to Grain (Fc,para):..... 2,900 psi
   e. Horizontal Shear (Fv):..... 290 psi
7. Prefabricated wall components may be used given shop drawings are provided by the manufacturer for review by the Structural Engineer of Record. Shop drawings & calculations bearing the seal of a professional engineer (employed by the manufacturer) registered in the state where the project is being built shall be submitted to the Structural Engineer for review.
8. Shop drawings & calculations bearing the seal of a professional engineer (employed by the manufacturer) registered in the state where the project is being built shall be submitted to the Structural Engineer for review.

STRUCTURAL STEEL

1. Structural steel shall be detailed, fabricated, & erected in conformance w/ the AISC Specification & the Code of Standard Practice, latest editions.
2. Rolled structural steel shapes shall conform to the following specifications:
   a. W Shapes..... ASTM A992, 50 ksi
   b. Channels, Angles, & Plates..... ASTM A36, 36 ksi (U.N.O. in plans)
   c. Pipe Shapes..... ASTM A53, Grade B, 35 ksi
   d. Structural Tubing (TS/HSS)..... ASTM A500, Grade B, 46 ksi
3. Connections made under shop conditions shall be welded or bolted w/ ASTM F3125 Grade A325 high strength bolts, type X or N. Welds shall be made w/ AWS A5.1 or A5.5 class E70XX electrodes or equivalent submerged arc & follow all requirements of AWS D1.1.
4. Design of all steel connections shall be the responsibility of the steel fabricator in accordance w/ AISC 303 Code of Standard Practice for Steel Buildings & Bridges, latest edition, Section 3.1.1 Option 3 & all associated requirements. Field bolted connections shall be bearing type w/ 3/4" diameter A325-N bolts, unless noted otherwise. All connections where reactions are not indicated on plan shall support 60% of the total uniform load capacity in bending for each beam & span as shown in the AISC uniform load constant tables. Connections shall generally follow those as found in AISC "Steel Construction Manual" latest edition. The steel fabricator shall submit plans, details, & calculations, sealed & signed by a professional engineer licensed in the state where the work is being performed for review by CLA Architecture.
5. All welds shall be performed by an AWS certified welder.
6. Minimum fillet weld sizes shall conform to AISC requirements.
7. Anchor bolts shall conform to ASTM F1554, 36 ksi unless noted otherwise.
8. Headed anchor studs (H.A.S.) shall conform to ASTM A108 w/ a min. tensile strength of 60,000 psi. Deformed anchor studs (D.A.S.) shall be ASTM A706 w/ a min. tensile strength of 60,000 psi.
9. Structural steel members shall as a min. be coated w/ SSPC 15-68, Type 1 (Red Oxide) paint. Structural steel exposed to weather shall be Hot-Dipped Galvanized in accordance w/ ASTM A153. Coatings damaged due to shipping, erection, welding or bolting shall be repaired in a manner that will provide a corrosion resistance equivalent or better than that provided in shop.
10. Steel in contact w/ earth shall be coated w/ (2) layers of a bituminous paint unless noted otherwise.

SHOP DRAWINGS & SUBMITTALS

1. Review of shop drawings by the Structural Engineer is to establish general conformance of the shop drawings w/ the Structural Contract Documents. No responsibility is assumed by the Structural Engineer for correctness, dimensions or details. All min. conditions & requirements specified on the Structural Contract Documents or in the governing building code & referenced standards shall be met regardless of the information indicated on the shop drawings. The contractor bears sole responsibility for errors, omissions & code requirements associated w/ the shop drawings & the application of the information therein.
2. Shop drawings will be reviewed one (1) time by CLA Architecture (CLAA) for conformance w/ the Structural Contract Documents. If shop drawings are indicated by CLAA as Revise & Resubmit, CLAA will review the resubmittal for incorporation of the redlined items only. Further review of structural submittals beyond these indicated will result in additional fees charged on an hourly basis at CLAA's standard rates per the project Agreement.
3. Construction Documents are copyrighted & shall not be reproduced for use as erection plans or shop details.
4. All shop & erection drawings shall be checked & stamped by the General Contractor prior to submission for Engineer's review. Unchecked submittals will be returned without review. Furnish one (1) electronic or two (2) hard copy sets of shop & erection drawings for Structural Steel, & Wood Roof Trusses, to Structural Engineer for review prior to fabrication.
5. Submit in a timely manner to permit ten (10) working days for review by Structural Engineer.
6. Requests for the modification of plans or specifications shall be submitted in writing. Shop drawings, submitted for review do not constitute "in writing" unless specific suggested changes are clearly marked. In any event, such changes by means of the shop drawing submittal or request for information process become the responsibility of the one initiating such change & shall compensate CLA Architecture for time & expense incurred for making the desired modifications.
7. The contractor shall allow for adequate time for the review, design & detailing of requested modifications or repairs in the construction schedule.
8. Review of shop drawings by the Engineer of Record is a courtesy & does not relieve the supplier of requirements indicated in the Structural Contract Documents unless specifically noted otherwise in writing by the reviewing engineer. bearing capacity is exceeded shall be considered a failure in the truss design.

STRUCTURAL OBSERVATIONS

1. Structural Engineer shall make periodic observations of the construction during placement of foundation & erection of structural framing. The purpose of the observations shall be to become generally familiar w/ the quality of work of the contractor in order to determine general conformance w/ the contract documents. Such observations shall not replace required inspections by the governing authorities or serve as "special inspections" as may be required by Chapter 17 of the governing building code.
2. The contractor shall notify the Structural Engineer at the following stages of construction so that these observations may be made:
   a. Prior to placing foundation concrete (after reinforcement placement).
   b. Prior to grouting structural masonry walls (after block & reinforcement placement).
   c. During erection of each level of structural framing.
   d. After completion of all structural framing erection (including permanent bracing).
   e. After roof deck has been placed & connected (before roofing operations).
3. Notification for observation shall be given to the Structural Engineer at least 24 hours prior to the time the observation is needed. The Structural Engineer may not make observations at each notification & lack of observation shall not stop progress of construction nor shall the observation indicate owner's acceptance of all work related to the observation.

SPECIAL INSPECTION REQUIREMENTS

1. A special inspector shall be engaged to make Special Inspections of the construction work as required by the Authority Having Jurisdiction and in conformance w/ the provisions of chapter 17 of the Governing Building Code.
2. Special Inspections shall be performed by an independent, established & recognized agency approved by the building official as demonstrating competence in performing the required Special Inspections.
3. It is the responsibility of the special inspection agency to work with the General Contractor and Ownership to ensure that all Special Inspections and tests required by IBC Section 1705 and associated referenced standards are performed.
4. All Special Inspection reports shall be in accordance with IBC Section 1704.2.4, including the specific statement that Special Inspections were performed. Observations shall not take the place of Special Inspections and as reports indicating Observation(s) rather than Special Inspection(s) do not meet the requirements outlined in the Governing Building Code, they shall be rejected.
5. The special inspector shall have experience in the Special Inspection of the particular type of construction or operation for which the Special Inspection is being performed.
6. The special inspection agency shall keep records of all Special Inspections performed. A copy of all Special Inspection reports shall be provided to the building official as well as to CLAA.
7. Special Inspection reports shall specify that work undergoing Special Inspection was or was not completed in conformance to the most recent approved Structural Contract Documents. Any discrepancies w/ the Structural Contract Documents shall be brought to the immediate attention of the contractor for correction. All required structural corrections/modifications shall be submitted to CLAA & adequate time shall be allotted for by the contractor for review & response. Costs incurred due to required corrections, modifications & time delays shall be the sole responsibility of the contractor.
8. A final report documenting the required Special Inspections shall be issued by the special inspection agency to the A.H.J. department and CLAA stipulating that all items are in conformance w/ the Structural Contract Documents, or with additional documentation provided by the A.H.J. or CLAA. All Structural Contract Documents used in the special inspection process shall be identified & itemized, including dates of issue.
9. Special Inspection reports shall include the names of personnel on site during inspection.

TYPICAL FOUNDATION NOTES

1. Re: Civil Plans for top of first floor slab elevation (Elevations indicated on structural sheets are reference elevations only).
2. Provide 5/8"Ø anchor bolts @ 32" o.c. U.N.O. In all cases provide (1) anchor bolt within 12" of all corners & sill plate ends (ea. side) & provide a min. of (2) anchor bolts per sill plate. All anchor bolts shall be embedded a min. of 7" into concrete w/ a 1 1/2" min. leg.
3. Refer to shear wall schedule for anchor bolt requirements at shear walls.
4. All slab-on-grade conditions shall be separated from all bearing walls, columns, & foundation walls w/ slip joints that will allow unrestrained vertical movement & the slip joints maintained over time.
5. Interior partition infill framing or masonry walls resting on non-structural slab-on-grade shall be constructed w/ a slip joint that will allow unrestrained vertical movement. The slip joint shall have sufficient depth to account for the anticipated differential vertical movement of the slab-on-grade indicated in the project geotechnical report.
6. Re: Soils report for sub grade preparation.
7. Broom finish all concrete in entryways & patios U.N.O.

UNLESS SPECIFICALLY DETAILED &/OR SPECIFIED ON THE STRUCTURAL CONTRACT DOCUMENTS, STAIRS, BALUSTERS, HALF-WALLS & RAILINGS FOR DECKS, BALCONIES, AWNINGS, & WALKWAYS HAVE NOT BEEN DESIGNED BY CLA ARCHITECTURE. DESIGN & CONSTRUCTION OF THESE ELEMENTS, WHEN NOT EXPRESSLY SHOWN ON THE STRUCTURAL CONTRACT DOCUMENTS, ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THESE ELEMENTS ARE CONSIDERED DESIGN-BUILD & THE GENERAL CONTRACTOR SHALL SUBMIT PLANS & CALCULATIONS, SEALED, & SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THE WORK IS BEING PERFORMED.

TYPICAL FLOOR FRAMING NOTES

1. Floor deck to be 23/32" T & G APA Rated (Exposure 1) wood structural panels, APA Span Rating 48/24. Glue & nail w/ 10d nails @ 6" o.c. at edges & 12" o.c. at intermediate supports, U.N.O. Stagger structural sheathing end joints, typical.
2. Provide all temporary & permanent bracing & blocking for floor framing members as required by manufacturer.
3. All dashed interior walls shown on plan are located below floor framing.
4. Provide clips between bottom of floor framing & top | of non-bearing walls to accommodate floor framing deflection, typical.
5. Full depth blocking shall be provided at all bearing conditions, shear walls, & cantilever conditions as well as at any locations recommended by a material or product manufacturer.

TYPICAL WALL FRAMING NOTES

1. Refer to Wall Stud Schedule for stud species, grade & spacing unless noted otherwise.
2. Sheath all exterior walls w/ 7/16" wood structural panel sheathing, APA Span Rating 24/16, w/ 8d nails @ 6" o.c. at panel/boundary edges & 12" o.c. at intermediate supports unless noted otherwise in the shear wall schedule & framing plans. Block all panel edges typical U.N.O.
3. Sheath all interior shear walls per Shear Wall Schedule & framing plans.
4. All gang studs to be continuous to foundation. Provide solid blocking between floors, typical.
5. Top plate splices shall have a min. lap length of 48" w/ (8) 16d or (12) 3"x0.131" nails, typical U.N.O.
6. In the event where wall top plates are interrupted or notched greater than 50% of the plate width, provide a Simpson CS16 strap with sufficient length to allow (10) 8d or (8) 10d nails on each side of interruption or notch. Location of the first nail shall be a minimum of 1 1/2" from the interruption or notch, typical.
7. Holdown stud packs shall stack from floor to floor to provide holdown hardware a continuous load path down to foundation. Transfer of holdown forces from stud pack to stud pack through sheathing is not permitted.

TYPICAL ROOF FRAMING NOTES

1. Sheath roof w/ 5/8" APA Rated (Exposure 1) wood structural panels, APA Span Rating 40/20 with the following attachment.
2. Within 48" of roof edge, nail w/ 10d nails @ 6" o.c. at panel edges & at 6" o.c. at intermediate supports U.N.O.
3. For all wind speeds, beyond 48" from roof edge, nail w/ 10d nails @ 6" o.c. at panel edges & at 6" o.c. at intermediate supports U.N.O.
4. All panel edges shall be staggered.
5. All panel edges shall be blocked.
6. Provide all temporary & permanent bracing & blocking for roof trusses as required by truss manufacturer.
7. Dot hatched areas on roof plans indicate overframing w/ pre-manufactured roof trusses.
8. Provide clips between bottom chord of roof truss & top plate of non-bearing walls to accommodate roof truss deflection, typ.
9. General Contractor shall refer to the Roof Truss Schedule and plan notes for additional coordination requirements for roof truss uplift loads, typ.
10. Truss manuf. to design & supply all truss-to-truss, truss-to-beam, truss to ledger, & truss-to-girder connections, typ.
11. Truss manufacturer shall account for bearing requirements on the top plate material specified in the structural general notes. Any conditions where the plate bearing capacity is exceeded shall be considered a failure in the truss design.

STRUCTURAL SHEET INDEX

PLAN LEGEND

- -DENOTES INTERIOR BEARING WALL ABOVE & BELOW W/ TRUSSES TERMINATION @ WALL, TYP. U.N.O.
- -DENOTES INTERIOR BEARING WALL ABOVE & BELOW W/ TRUSSES SPANNING CONT. @ WALL, TYP. U.N.O.
- -DENOTES FLUSH FRAMED HEADER, TYP. U.N.O.
- -DENOTES BEARING WALL ABOVE
- -DENOTES NON-BEARING ARCHITECTURAL WALL BELOW

BLOCKING PANELS REQ'D @ ALL BEARING & SHEAR WALLS, TYP. U.N.O

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Date 08/07/2025
WYOMING

57 ASTER LOOP RESIDENCE

57 ASTER LOOP, ALPINE, WY 83128

KATE HLADKY & JEYDON COX

ISSUED FOR:	PERMIT
REVISION DATE:	8/6/25
PROJECT NUMBER	25028
DATE	8/6/25
DRAWN BY	CWS
CHECKED BY	STZ

SHEET NAME

STRUCTURAL GENERAL NOTES

S0.1

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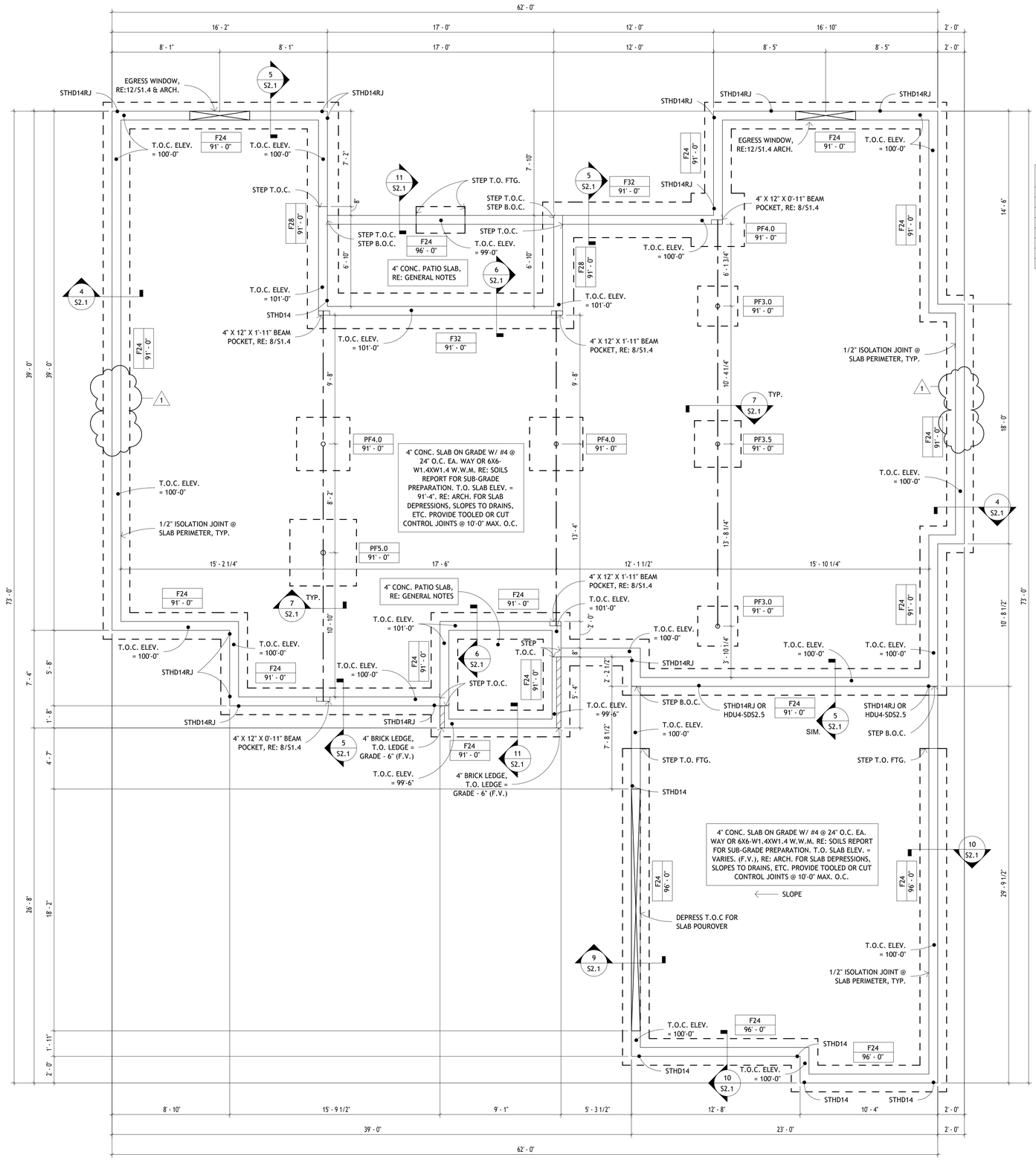

1 S1.1 FOUNDATION PLAN
1/4" = 1'-0"

FOUNDATION PLAN NOTES

1. RE: S1.0 FOR GENERAL FOUNDATION NOTES
2. PROVIDE 5/8" DIA X 10" ANCHOR BOLTS W/ 1" LEG @ 32" O.C., TYP.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS W/ ARCH. DRAWINGS. NOTIFY ENGINEER OF RECORD IF THERE IS A DEVIANCE FOR FURTHER RECOMMENDATIONS.
4. ▨ - HATCH INDICATED 4" BRICK LEDGE, T.O. LEDGE ELEV. = F.V.
5. F.V. ALL T.O.C. ELEVATIONS BASED ON (E) SITE. T.O.C. ELEV. ARE FOR REFERENCE ONLY
6. PROVIDE 1/2" ISOLATION JOINTS BETWEEN ALL SLAB-ON-GRADE CONDITIONS & STRUCTURAL CONC. ELEMENTS (FOUNDATION WALLS, CONC. WALLS, PEDESTALS, PIERS, ETC.)
7. INSTALL HOLDOWNS PER MANUF. RECOMMENDATIONS. PROVIDE A MINIMUM OF (2) 2X4 OR (2) 2X6 STUDS @ EA. HOLDOWN.
8. CONFIRM LOCATIONS OF HOLDOWNS W/ THE ARCH. PLANS & FRAMER.
9. @ CONTRACTORS OPTION, HOLDOWNS CAN BE POST-INSTALLED. CONTACT E.O.R. FOR POST-INSTALLED HOLDOWNS OPTIONS.

SPREAD FOOTING SCHEDULE

Type Mark	WIDTH	THICKNESS	LENGTH	REINFORCING
F24	2' - 0"	0' - 10"	CONT.	(3) #4 CONT. @ BOT.
F28	2' - 4"	0' - 10"	CONT.	(4) #4 CONT. @ BOT.
F32	2' - 8"	0' - 10"	CONT.	(4) #4 CONT. @ BOT.
PF3.0	3' - 0"	0' - 10"	3' - 0"	(4) #4 BOT. EA. WAY
PF3.5	3' - 6"	0' - 10"	3' - 6"	(4) #4 BOT. EA. WAY
PF4.0	4' - 0"	0' - 10"	4' - 0"	(5) #4 BOT. EA. WAY
PF5.0	5' - 0"	0' - 10"	5' - 0"	(6) #4 BOT. EA. WAY

F16 / 100'-0" — FOOTING TYPE / TOP OF FOOTING ELEVATION

NOTES:
1. ALL REINFORCING TO BE PLACED IN BOTTOM OF FOOTING W. PROPER CLEAR COVER (SEE GENERAL NOTES), TYP. U.N.O.
2. REINFORCING SHALL BE CONTINUOUS IN ALL CONTINUOUS SPREAD FOOTINGS. RE: REBAR SPLICE SCHEDULE FOR SPLICE LENGTHS.
3. PADS TO BE FORMED W/ 2X WOOD FORMS. IF CONTRACTOR OPTS TO USE EARTH FORMING, THE PLAN DIMENSIONS MUST BE INCREASED 4 INCHES.
4. ALL FOOTINGS TO BE CENTERED ABOUT STEM WALL, TYP. U.N.O.

REBAR SPLICE LENGTHS

BAR SIZE	BOTTOM BARS & VERTS (IN)	Top Bars (in)
#3	22	28
#4	28	37
#5	36	46
#6	43	56
#7	62	81
#8	71	93

NOTES:
1. CLASS B TENSION SPLICES.
2. SPLICE LENGTHS ARE BASED ON f'c = 3000 psi.
3. SPLICE LENGTHS ARE 1.3 x BASIC DEVELOPMENT LENGTH.
4. USE TOP BAR REINFORCING LENGTHS WHEN MORE THAN 12" OF FRESH CONC. WILL BE PLACED BELOW HORIZ. REINFORCING.

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SHEET NAME
FOUNDATION PLAN

S1.1

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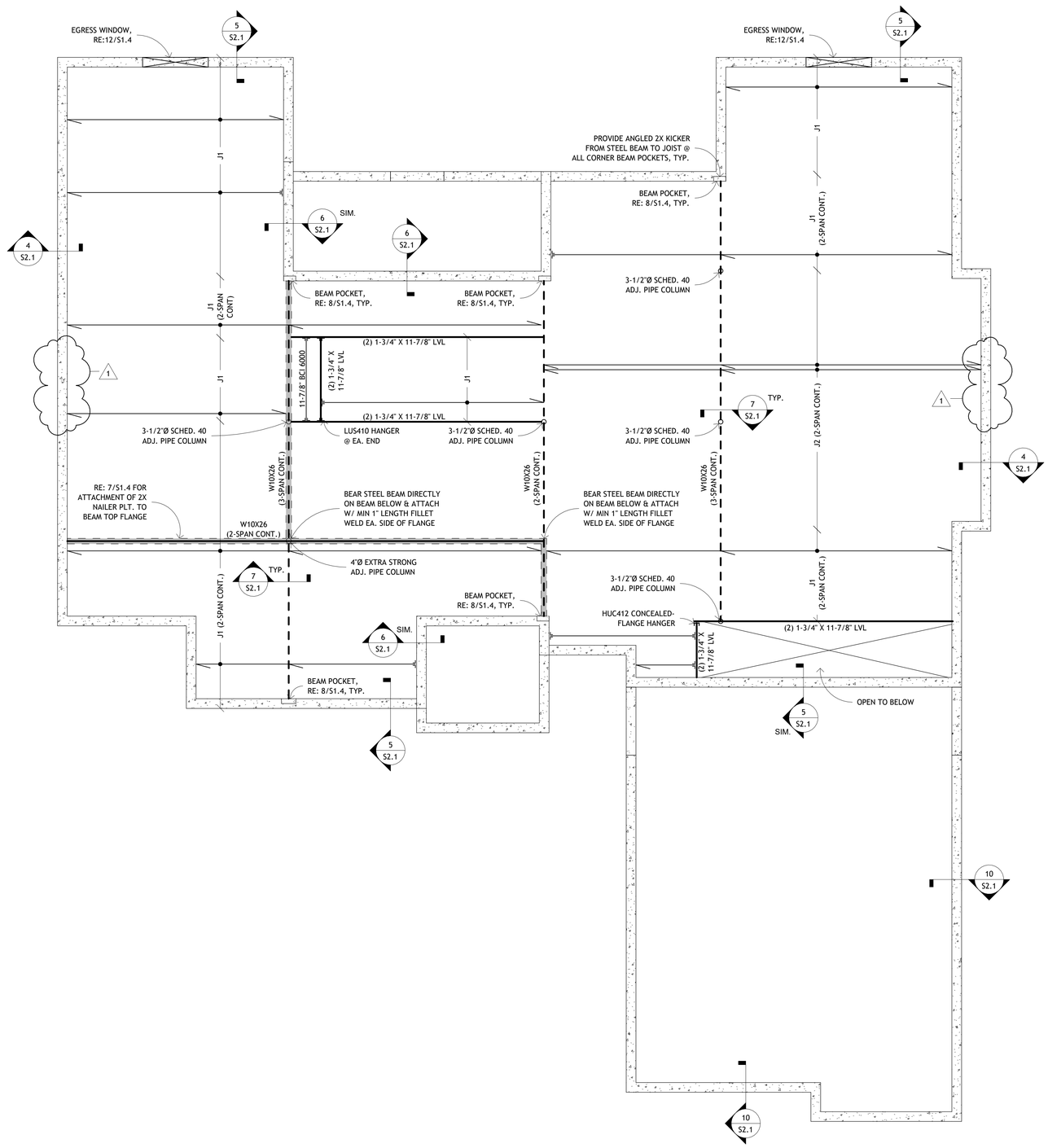
FLOOR JOIST SCHEDULE			
J1	11-7/8" BCI 6000's @ 16" O.C.	IUS2.37/11.88	ITS2.37/11.88
J2	(2) 11-7/8" BCI 6000's @ 19.2" O.C.	MIU4.75/11	MIT3511.88-2



1 S1.2 MAIN FLOOR FRAMING PLAN
1/4" = 1'-0"

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SHEET NAME
FLOOR FRAMING PLAN

S1.2

SHEAR WALL SCHEDULE

GENERAL SHEAR WALL NOTES:

- ALL PANELS BACKED w/ 2-INCH NOMINAL OR WIDER FRAMING.
- WHERE WOOD STRUCTURAL PANEL SHEAR WALL PANELS ARE APPLIED ON EA. SIDE OF WALL /w NAIL SPACING OF LESS THAN 6" ON ONE OR BOTH SIDES, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR 3" NOMINAL OR GREATER FRAMING MEMBERS MUST BE USED @ PANEL EDGES & ALL NAILS SHALL BE STAGGERED.
- BLOCK ALL PANEL EDGES & PROVIDE EDGE NAILING @ ALL SUPPORTS & ALL PANEL EDGES U.N.O.
- PANELS MAY BE INSTALLED EITHER VERTICALLY OR HORIZONTALLY.
- SPACE ALL NAILS AS INDICATED IN THIS SCHEDULE.
- SHEATHING & NAILING INDICATED FOR SHEAR WALLS SHALL CONTINUE ABOVE & BELOW OPENINGS IN SHEAR WALLS.
- SHEAR WALLS INDICATED IN THIS SCHEDULE ARE TO BE CONSTRUCTED BELOW ROOF OR FLOOR WHERE SHEAR WALL IS SHOWN ON FRAMING PLAN.
- MINIMUM NAIL SIZES ARE AS FOLLOWS:
  8d..... (0.131"Ø, 2 1/2" long, 0.281" head)
  16d..... (0.162 "Ø, 3 1/2" long, 0.344" head)
- ALL SHEAR WALL ANCHOR BOLTS SHALL HAVE A 1 3/4"Ø PLATE WASHER.
- PROVIDE DBL. 2x STUDS (FASTENED w/ 16d NAILS @ 24" o.c.) @ ALL SHEAR WALL ENDS U.N.O. IN PLAN. RE: FOUNDATION PLAN FOR ADD'L. POST REQUIREMENTS @ HOLDOWNS.
- ALL SHEAR WALLS SHALL HAVE DBL. 2x TOP PLATES. LAP SPLICES IN TOP PLATES SHALL BE 4'-0" MIN. CONNECT DBL. PLATES w/ 16d NAILS @ 16" o.c., w/ (8) 16d NAILS EA. SIDE OF SPLICE @ LAP SPLICES (16 TOTAL).
- RE: APPLICABLE SECTIONS & DETAILS FOR ADD'L. INFORMATION REGARDING HOLDOWNS & ANCHOR BOLTS.
- FOR SHEAR WALLS SHEATHED BOTH SIDES w/ WOOD STRUCTURAL PANELS & FASTENING @ 3" o.c. OR LESS, TOP & BOT. WALL PLATES SHALL HAVE NO PENETRATIONS GREATER THAN 1"Ø.
- NOTED ATTACHMENT SHALL APPLY ALONG THE FULL LENGTH OF SHEAR WALLS.
- BLOCKING NOTED HEREIN REPRESENTS SOLID BLOCKING, BLOCKING PANELS, END WALL FLOOR TRUSSES, ETC. RE: PLANS & SECTIONS.
- SILL PLATE: HORIZ. WOOD | ATTACHED TO CONC. FOUNDATION OR SLAB.
- SOLE PLATE: HORIZ. WOOD | @ BOT. OF FRAMED WALL @ EA. LEVEL.
- AT ANCHOR BOLTS, PROVIDE (1) BTWN. 4 1/2" & 12" OF ALL WALL CORNERS & SILL PLATE ENDS AS WELL AS A MIN. OF (2) PER SECTION OF SILL PLATE.

TYPICAL SHEATHING REQUIREMENTS:

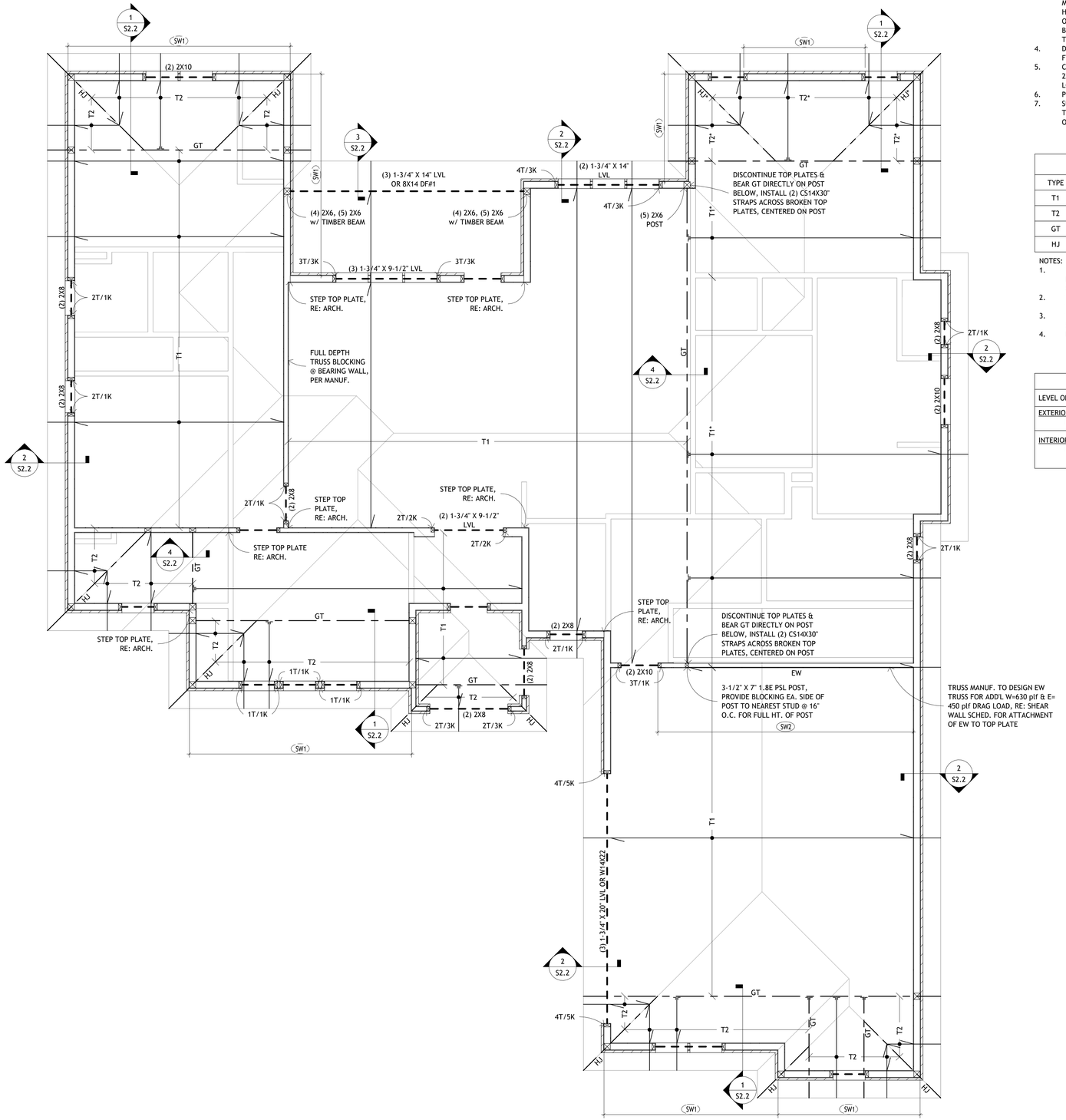
EXTERIOR WALLS (ALL LEVELS):
SHEATHE EXTERIOR w/ 7/16" WOOD STRUCTURAL PANELS w/ 8d NAILS @ 6" o.c. @ PANEL & BOUNDARY EDGES & 12" o.c. @ INTERMEDIATE SUPPORTS. SHEATHE INTERIOR w/ 1/2" GYPSUM WALL BOARD w/ #6x1 1/4" DRYWALL SCREWS @ 8" o.c. @ PANEL & BOUNDARY EDGES & @ 12" o.c. @ INTERMEDIATE SUPPORTS.
SILL PLATE CONN.: PROVIDE 1/2" x 7" MIN EMBED ANCHOR BOLTS @ 32" o.c.
SOLE PLATE CONN. TO BLOCKING: 16d NAILS @ 3" o.c. OR SIMPSON A34 ANGLES @ 8" o.c.
BLOCKING CONN. TO DBL. TOP PLATE: USE NAILING OF SOLE PLATE CONN. TO BLOCKING INDICATED FOR SHEAR WALL BELOW.

WHERE SPECIAL SHEAR WALLS ARE NOTED IN PLAN, SHEATHE AS INDICATED BELOW:

SW1
7/16" WOOD STRUCTURAL PANELS w/ 8d NAILS @ 4" o.c. @ PANEL & BOUNDARY EDGES & 12" o.c. @ INTERMEDIATE SUPPORTS.
SILL PLATE CONN.: PROVIDE 5/8" x 7" MIN EMBED ANCHOR BOLTS @ 32" o.c.
SOLE PLATE CONN. TO BLOCKING: 16d NAILS @ 3" o.c. OR SIMPSON A34 @ 8" o.c. BLOCKING CONN. TO DBL. TOP PLATE: USE NAILING OF SOLE PLATE CONN. TO BLOCKING INDICATED FOR SHEAR WALL BELOW.

SW2
7/16" WOOD STRUCTURAL PANELS w/ 8d NAILS @ 3" o.c. @ PANEL & BOUNDARY EDGES & 12" o.c. @ INTERMEDIATE SUPPORTS.
SILL PLATE CONN.: PROVIDE 5/8" x 7" MIN EMBED ANCHOR BOLTS @ 24" o.c.
SOLE PLATE CONN. TO BLOCKING: 16d NAILS @ 2" o.c. OR SIMPSON A34 @ 6" o.c.
BLOCKING CONN. TO DBL. TOP PLATE: USE NAILING OF SOLE PLATE CONN. TO BLOCKING INDICATED FOR SHEAR WALL BELOW.

NOTES:
1. DBL. ROWS OF NAILING @ SOLE PLATE CONN. SHALL HAVE 3/4" EDGE DISTANCE, STAGGERED w/ 2" SPACING BTWN. ROWS.



1 S1.3 ROOF FRAMING PLAN
1/4" = 1'-0"

ROOF FRAMING PLAN NOTES

1. RE: S1.0 FOR TYP. ROOF FRAMING NOTES
2. ALL ROOF TRUSSES TO HAVE H2.5T TRUSS CLIP @ ALL BEARING LOCATIONS U.N.O.
3. BEAMS & HEADERS SHOWN ON PLAN & NOT DESIGNATED W/ A MARK ARE TO BE (2) 2X6. INCREASE TO THREE PLY BEAMS & HEADERS INSIDE 2X6 WALL FRAMING, TYP. @ CONTRACTORS OPTION. A FULL DEPTH HEADER MAY BE INSTALLED DIRECTLY BENEATH THE DBL. TOP PLATE. HEADER SIZE NOT TO BE LESS THAN THAT INDICATED ON PLAN.
4. DASHED BEAM TYPES ARE DROPPED & SOLID BEAMS TYPES ARE FLUSH, TYP.
5. COLUMNS SHOWN ON PLAN & NOT CALLED OUT ARE TO BE DBL. 2X4 IF POST IF LOCATED IN 2X4 WALL FRAMING OR DBL. 2X6 IF LOCATED IN 2X6 WALL FRAMING.
6. PROVIDE 4-PLY 2X POST MIN. UNDER GIRDER TRUSSES, U.N.O.
7. SUPPORT ALL EXTERIOR WINDOW & DOOR HEADERS W/ MIN. (2) TRIMMERS & (2) KING STUDS U.N.O., ONLY (1) TRIMMER IS REQD @ OPENINGS < 4'-0", TYP. U.N.O.

ROOF TRUSS SCHEDULE

TYPE	DESCRIPTION/SPACING	HANGER
T1	ROOF TRUSSES @ 24" O.C.	PER MANUF.
T2	JACK TRUSSES @ 24" O.C.	PER MANUF.
GT	GIRDER TRUSS	PER MANUF.
HJ	HIP JACK	PER MANUF.

NOTES:
1. TRUSSES SHALL BE DESIGNED & SHOP DRAWINGS SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WYOMING.
2. TRUSS MANUF. TO DESIGN & SUPPLY ALL TRUSS-TO-TRUSS, TRUSS-TO-BEAM, & TRUSS-TO-GIRDER CONNECTIONS, TYP.
3. TRUSS MANUF. TO DESIGN TRUSSES FOR DEAD LOAD = 20 psf & SNOW LOAD = 30 psf, TYP.
4. RE: ARCH. FOR PROFILE OF TRUSS BOTTOM CHORD.

WALL STUD SCHEDULE

LEVEL OF FRAMING	WALL STUD DESCRIPTION
EXTERIOR WALLS FOUNDATION TO ROOF (11'-0" MAX.)	2x6 HEM-FIR #2 @ 16" o.c.
INTERIOR WALLS FOUNDATION TO ROOF (10'-0" MAX.)	2x4 HEM-FIR #2 @ 12" o.c. 2x6 HEM-FIR #2 @ 16" o.c.

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Professional Engineer
SAWYER T. K. ZIMMERMAN
21124
Date: 08/07/2025
WYOMING

57 ASTER LOOP RESIDENCE

57 ASTER LOOP, ALPINE, WY 83128

KATE HLADKY & JEYDON COX

ISSUED FOR:	PERMIT
REVISION DATE:	8/6/25
PROJECT NUMBER	25028
DATE	8/6/25
DRAWN BY	CWS
CHECKED BY	STZ

SHEET NAME
ROOF FRAMING PLAN

S1.3

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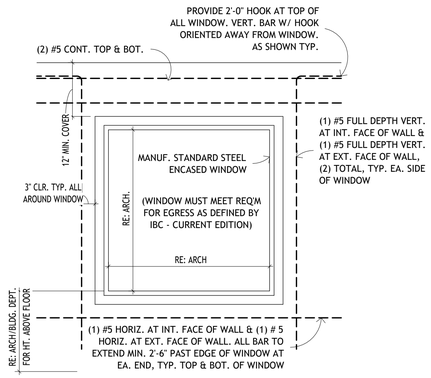
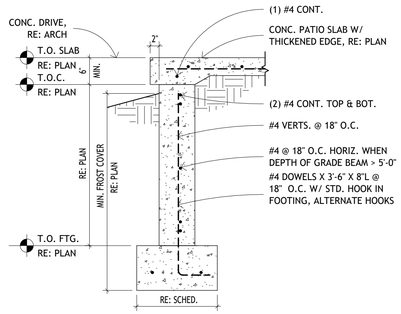
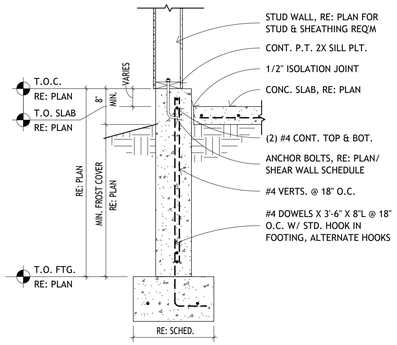


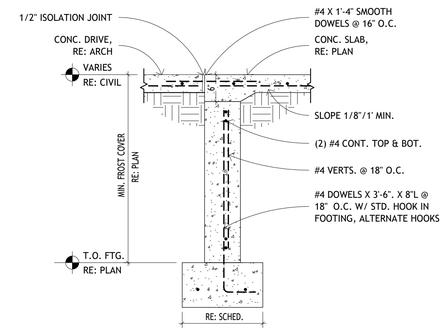
12 S2.1 TYP. BASEMENT EGRESS WINDOW
3/4" = 1'-0"



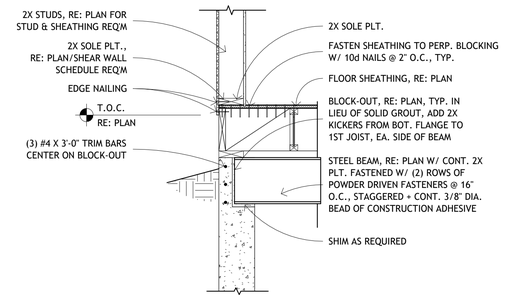
11 S2.1 TYP. STEM WALL @ PATIO
3/4" = 1'-0"



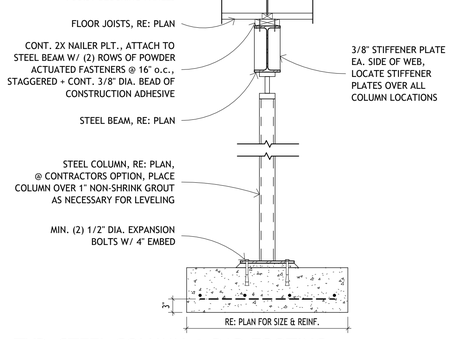
10 S2.1 TYP. STEM WALL
3/4" = 1'-0"



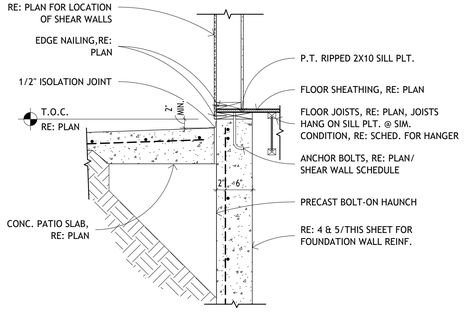
9 S2.1 SLAB POUROVER @ GARAGE DOOR
3/4" = 1'-0"



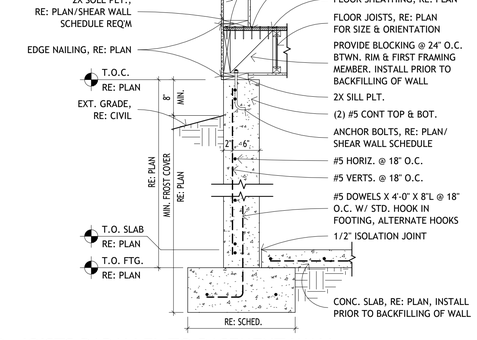
8 S2.1 TYP. BEAM POCKET
3/4" = 1'-0"



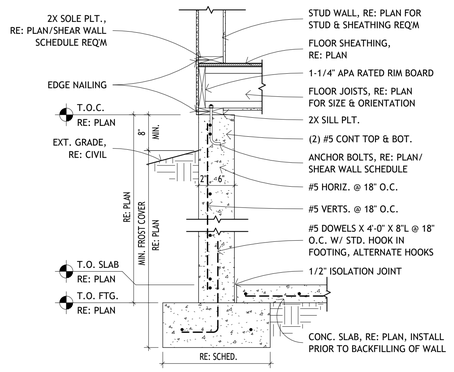
7 S2.1 TYP. STEEL COLUMN @ PAD FOOTING
3/4" = 1'-0"



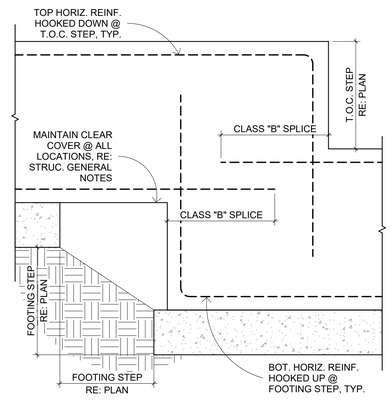
6 S2.1 CONCRETE PATIO @ BASEMENT WALL
3/4" = 1'-0"



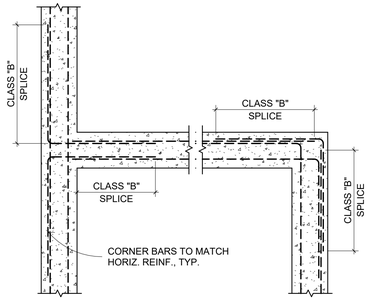
5 S2.1 JOISTS PARALLEL TO BASEMENT WALL
3/4" = 1'-0"



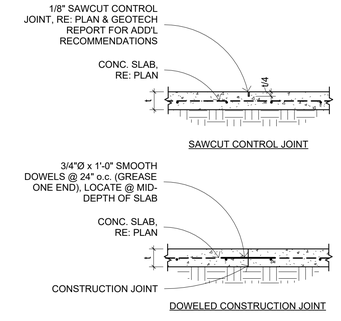
4 S2.1 JOISTS PERPENDICULAR TO BASEMENT WALL
3/4" = 1'-0"



3 S2.1 TYP. FND. WALL STEP
3/4" = 1'-0"



2 S2.1 TYP. FND. WALL @ CORNER & INTERSECTION
3/4" = 1'-0"



1 S2.1 TYP. S.O.G. JOINTS
3/4" = 1'-0"

NOTES:
1. RE: GEOTECH REPORT FOR SUBGRADE PREPARATION REQUIREMENTS & ADD'L SLAB-ON-GRADE RECOMMENDATIONS.
2. PROVIDE SLAB CONTROL JOINTS EA. WAY @ COLUMN LINES & 10'-0" o.c. EA. WAY U.N.O.

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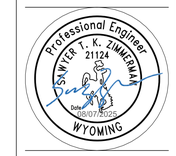

57 ASTER LOOP RESIDENCE

57 ASTER LOOP, ALPINE, WY 83128

KATE HLADKY & JEYDON COX

ISSUED FOR:	PERMIT
REVISION DATE:	8/6/25
PROJECT NUMBER	25028
DATE	8/6/25
DRAWN BY	CWS
CHECKED BY	STZ

SHEET NAME

FOUNDATION SECTIONS

S2.1

8/6/2025 8:20:16 AM

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Professional Engineer
SAWYER T. K. ZIMMERMAN
21124
Date 08/07/2025
WYOMING

57 ASTER LOOP RESIDENCE

57 ASTER LOOP, ALPINE, WY 83128

KATE HLADKY & JEYDON COX

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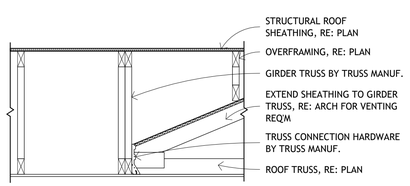
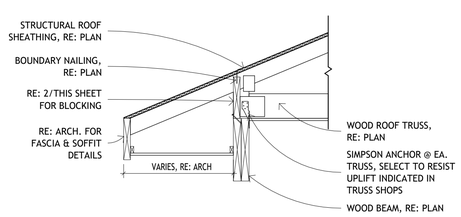
SHEET NAME

ROOF FRAMING SECTIONS

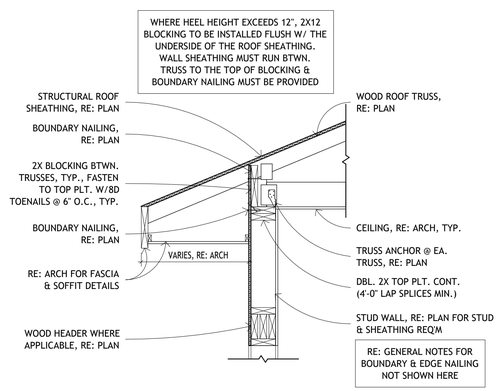
S2.2



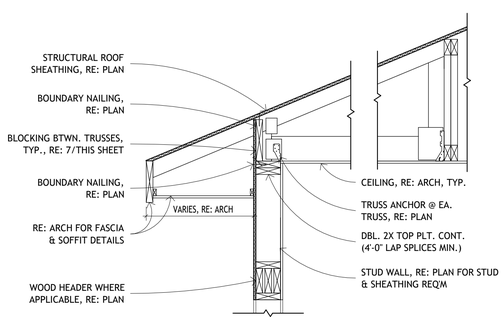
4 S2.2 TRUSS TO GIRDER-TRUSS CONNECTION
3/4" = 1'-0"



3 S2.2 ROOF TRUSS ON DROPPED BEAM
3/4" = 1'-0"



2 S2.2 ROOF TRUSS ON PERPENDICULAR WALL
3/4" = 1'-0"



1 S2.2 JACK TRUSSES @ HIPPED ROOF
3/4" = 1'-0"

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HLADKY - COX HOUSE PLANS

LOT #9

PLAN #: 2216-S

FOUNDATION TYPE: BASEMENT
EXTERIOR WALL SIZE: 2x4 EXT. WALLS

HLADKY MODIFICATION #2
LIC. NO. - 737-025

SHEET INDEX:

STANDARD ABBREVIATIONS

@	AT
#	POUND(S)
APPROX.	APPROXIMATELY
BASE.	BASEMENT
BT.	BETWEEN
BLK.	BLOCK
BLK'G	BLOCKING
BD.	BOARD
BRD.	BOARD
BOT.	BOTTOM
BLDG.	BUILDING
CAB.	CABINET
CLG.	CEILING
CLR.	CLEAR
CLOS.	CLOSET
COL.	COLUMN
COLS.	COLUMNS
CONC.	CONCRETE
CMU	CONCRETE MASONRY UNIT
C.U.	CONDENSOR UNIT
CONN.	CONNECTION
CONT.	CONTINUOUS
COVER'G	COVERING
CS	CRAWL SPACE
DECO.	DECORATIVE
DET	DETAIL
DIA.	DIAMETER
DW	DISHWASHER
DBL.	DOUBLE
DF	DOUGLAS FIR
D	DRYER
EA.	EACH
ELEV.	ELEVATION
ENG.	ENGINEER
FT.	FEET
F.F.L.	FINISHED FLOOR LINE
FIN.	FINISH
F.C.	FIRE CODE
FLR.	FLOOR
FTG.	FOOTING
FOUND.	FOUNDATION
FND.	FOUNDATION
FR.	FREEZER
GA.	GAUGE
GALV.	GALVANIZED
GYP.	GYPSUM
HDR.	HEADER
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HT.	HEIGHT
HTS.	HEIGHTS
HORIZ.	HORIZONTAL
IN.	INCHES
INCL.	INCLUDE
INSUL.	INSULATION
JT.	JOINT
JST.	JOIST
JSTS.	JOISTS
LT.	LIGHT
LIN.	LINEN
MANUF.	MANUFACTURER
MAS.	MASONRY
MAX.	MAXIMUM
MTL.	METAL
MIN.	MINIMUM
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
O/C	ON CENTER
OPT.	OPTIONAL
O.S.B.	ORIENTED STRAND BOARD
OTS	OWNER TO SELECT
O.T.S	OWNER TO SELECT
PG.	PAGE
PAN.	PANTRY
PL.	PLATE
P	PLATE
PLY'WD	PLYWOOD
PLYWD	PLYWOOD
POLY.	POLYETHYLENE
PSI	POUNDS PER SQUARE INCH
PRE-FAB	PREFABRICATED
REF.	REFERENCE
REF	REFRIGERATOR
REINF.	REINFORCED
R	RESISTANCE
R.A.	RETURN AIR
R.A.G.	RETURN AIR GRILLE
REQ'D	REQUIRED
SCR.	SCREEN
SHLVS.	SHELVES
SHR.	SHOWER
SHWR.	SHOWER
SST.	SIMPSON STRONG TIE
SP	SOUTHERN PINE
SPECS.	SPECIFICATIONS
SQ.	SQUARE
S.F.	SQUARE FOOTAGE
STL.	STEEL
THK.	THICK
THK.	THICKNESS
TBD.	TO BE DETERMINED
TR.	TRANSOM
TYP.	TYPICAL
U.T.C.	UNDER THE COUNTER
UTIL.	UTILITY
VAN.	VANITY
VERT.	VERTICAL
WH	WATER HEATER
W	WASHER
WT.	WEIGHT
WIN.	WINDOW
W.M.	WIRE MESH
W/	WITH
WD.	WOOD
WFCM	WOOD FRAME CONSTRUCTION MANUAL

DESIGN DATA

MINIMUM SOIL BEARING CAPACITY = 2000 P.S.F. FOR GROUP II
CONCRETE MINIMUM (28 DAYS) f'c:
FOOTERS = 3000 P.S.I.
SLABS & WALLS = 3000 P.S.I.
REINFORCING STEEL: A.S.T.M. A615-60
ROOF LIVE LOAD (GROUND SNOW LOAD) = 30 P.S.F.
ROOF DEAD LOAD = 10 P.S.F.
FLOOR LIVE LOAD = 40 P.S.F.
30 P.S.F. SLEEPING AREAS
FLOOR DEAD LOAD = 10 P.S.F.
DECK LIVE LOAD = 40 P.S.F.
DECK DEAD LOAD = 10 P.S.F.
NOTE: ALL REQUIRED BRACE WALL PANELS LOCATED BY CONTRACTOR PER LOCAL CODE REQUIREMENTS.

N·C·B·D·C
NATIONAL COUNCIL OF BUILDING DESIGNER CERTIFICATION
JONATHAN L. BOONE
CERTIFICATION NO. 25-137
TM

Date: 7.13.21
Drawn By: C.A.B.

SHEET NUMBER
1

IMPORTANT DISCLAIMER
THE ENCLOSED INFORMATION IS INTENDED TO ASSIST AND INFORM YOU THROUGH THE CONSTRUCTION OF YOUR HOME. YOUR CONSTRUCTION PLANS HAVE BEEN DRAWN TO PRESCRIBE TO INDUSTRY STANDARDS. THESE PROFESSIONAL STANDARDS DETERMINE HOW CONSTRUCTION PLANS ARE DRAWN AND WHAT INFORMATION THEY INCLUDE. CONSTRUCTION PLANS ARE INTENDED AS A TECHNICAL GUIDE TO PROFESSIONAL CONTRACTORS AND ARE NOT INTENDED TO BE A SET OF STEP-BY-STEP INSTRUCTIONS. THEREFORE, IF YOU ARE PLANNING TO BUILD YOUR HOME WITHOUT THE SERVICE OF A PROFESSIONAL BUILDER, WE SUGGEST THAT YOU BECOME THOROUGHLY FAMILIAR WITH READING CONSTRUCTION PLANS OR CONSIDER CONSULTING A CONSTRUCTION SPECIALIST. GREAT CARE AND EFFORT GOES INTO THE DESIGN AND CREATION OF THE CONSTRUCTION PLANS; HOWEVER, BECAUSE OF THE IMPOSSIBILITY OF PROVIDING ANY PERSONAL AND/OR "ON-SITE" CONSULTATION, SUPERVISION AND CONTROL OVER THE ACTUAL CONSTRUCTION, AND BECAUSE OF THE GREAT VARIANCES IN LOCAL BUILDING CODE REQUIREMENTS AND OTHER GEOGRAPHIC LOCATION AND WEATHER CONDITIONS, HOUSE PLAN ZONE, LLC. NOR THE AGENTS OR EMPLOYEES ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCLUDING BUT NOT LIMITED TO, ANY DEFICIENCIES, OMISSIONS, OR ERRORS IN THE DESIGN. IN ANY CASE, ANY DISCREPANCIES, ERRORS, AND/OR OMISSIONS IN THE DIMENSIONS, AND/OR DRAWINGS CONTAINED IN THE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ATTENTION OF HOUSE PLAN ZONE, LLC. PRIOR TO COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THE CONSTRUCTION DOCUMENTS 'AS IS' AND ANY DISCREPANCIES, ERRORS, AND/OR OMISSIONS BECOME THE SOLE RESPONSIBILITY OF THE PURCHASER. IF ANY ERRORS ARE DISCOVERED PRIOR TO CONSTRUCTION HOUSE PLAN ZONE, LLC. WILL BE GIVEN FULL OPPORTUNITY TO CORRECT ANY ERRORS AND/OR OMISSIONS TO THE CONSTRUCTION PLANS. IN ANY OR ALL CIRCUMSTANCES, THE MAXIMUM FINANCIAL LIABILITY TO HOUSE PLAN ZONE, LLC. CAN NOT EXCEED THE TOTAL PLAN PURCHASE.

PROFESSIONAL SEAL/ ADDITIONAL DRAWINGS
THOUGH EVERY EFFORT WAS MADE TO MAKE THE CONSTRUCTION DOCUMENTS FOLLOW THE I.R.C. NATIONAL CODE METHODOLOGIES, A FEW STATES AND CITIES HAVE PASSED BI-LAWS REGARDING CONSTRUCTION PLANS THAT WOULD BE SUBMITTED TO YOUR LOCAL MUNICIPALITY AND USED FOR THE CONSTRUCTION OF YOUR HOME. THESE BI-LAWS REQUIRE THE CONSTRUCTION PLANS TO BE REVIEWED AND/OR PREPARED, INSPECTED, AND SEALED (OR STAMPED) BY A LICENSED ARCHITECT/ ENGINEER IN YOUR STATE. IT IS ADVISED THAT YOU CONTACT YOUR MUNICIPALITY'S BUILDING DEPARTMENT FOR INSTRUCTIONS TO COMPLY WITH THEIR CONSTRUCTION PLANS REVIEW PROCESS. FURTHERMORE, ADDITIONAL ITEMS SUCH AS STRUCTURAL, HVAC, PLUMBING, SITE, ENERGY EFFICIENCY DOCUMENTATION, ETC. MAY BE REQUIRED AND THESE SHALL BE PROVIDED BY A LOCAL PROFESSIONAL THAT IS FAMILIAR WITH THE REQUIREMENTS AND THESE SHALL BE PROVIDED AT THE OWNERS EXPENSE.

OTHER IMPORTANT INFORMATION
MATERIALS LIST DISCLAIMER - IF A MATERIALS LIST WAS ORDERED, IT WILL ONLY CONFORM TO THE PLAN IN ITS ORIGINAL FORMAT. ADDITIONAL OPTIONS SUCH AS 2X6 EXTERIOR WALLS, BASEMENT, OR WALKOUT BASEMENT FOUNDATIONS, THREE CAR GARAGE VERSIONS, ETC. WILL NOT BE REFLECTED IN THE LIST. WHILE IT WILL NOT MATCH THESE OPTIONS, THE LIST IS STILL A GREAT REFERENCE DOCUMENT FOR THE MATERIALS THAT WILL BE REQUIRED TO CONSTRUCT YOUR HOME.
FOUNDATIONS - MOST OF OUR FOUNDATIONS ARE DESIGNED WITH CONCRETE BLOCK STEM WALLS AND NOT POURED-IN-PLACE CONCRETE. ADDITIONALLY, THE MAJORITY OF OUR SLAB FOUNDATIONS ARE DESIGNED WITH A CHAIN WALL (RAISED) SLAB AND NOT MONOLITHIC (SLAB ON GRADE). CONTRACTOR/ LOCAL ENGINEER SHALL ADJUST DESIGN AS NEEDED FOR YOUR SPECIFIC AREA/ NEED.
SQUARE FOOTAGES - BONUS ROOMS (WHERE APPLICABLE) ARE NOT INCLUDED IN THE HEATED AREA OF THE DESIGN UNLESS SPECIFICALLY NOTED. GARAGE PLANS ARE EXCLUDED. SQUARE FOOTAGES SHOWN ARE CALCULATED TO THE OUTSIDE OF THE STUD WALL AND DO NOT INCLUDE THE EXTERIOR MATERIALS SUCH AS BRICK, STONE, OR SIDING.
DIMENSIONS - OUR PLANS ARE DIMENSIONED TO THE OUTSIDE OF THE STUD WALL ONLY AND NOT TO THE OUTSIDE OF THE BRICK LEDGE (WHERE APPLICABLE).

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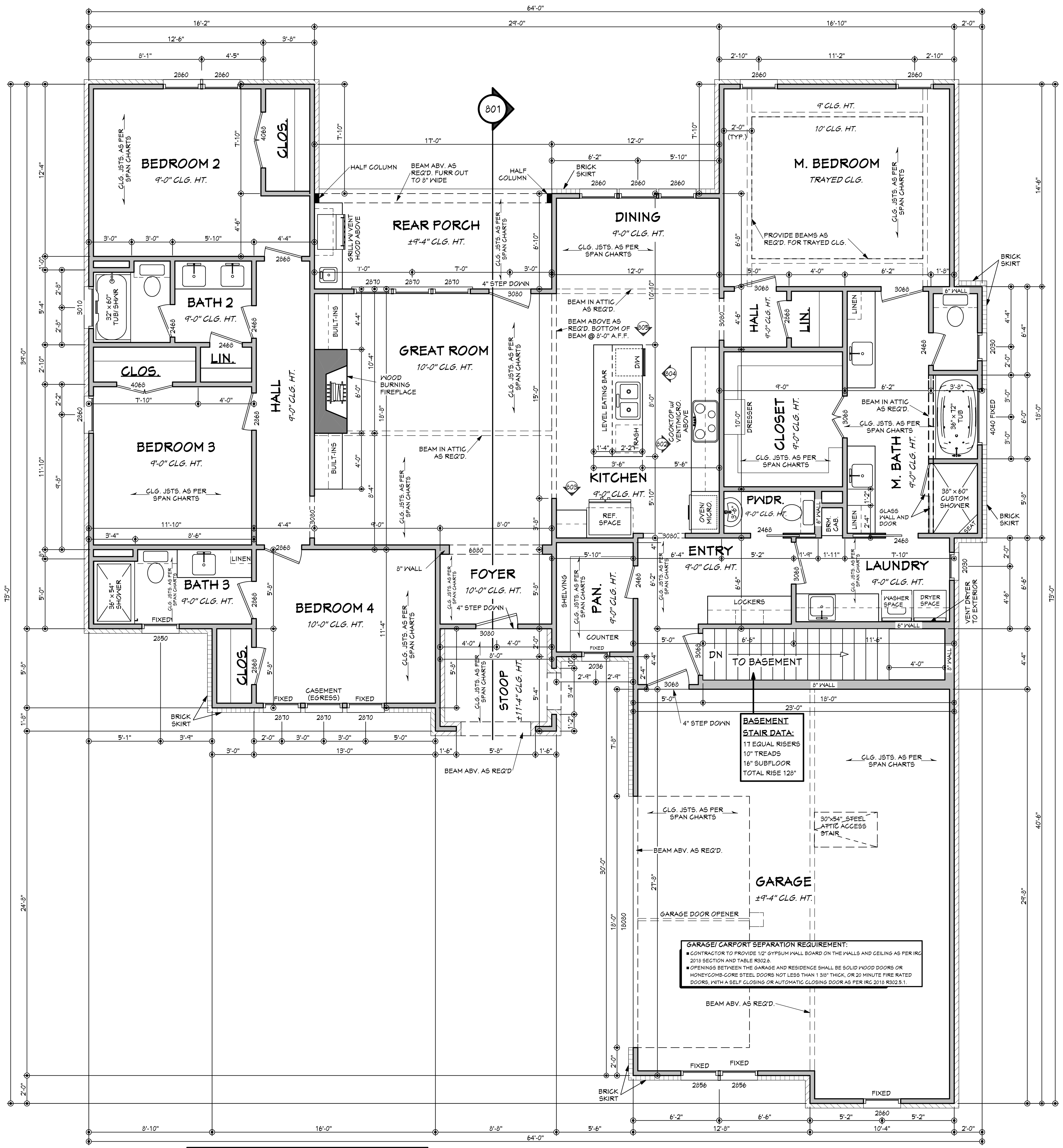
GENERAL SITE NOTES
1. CONTRACTOR TO VERIFY LOCATIONS OF SITE UTILITIES, REQUIREMENTS, AND CONNECTIONS FEES. OWNER, CONTRACTOR AND SUB-CONTACTORS TO PAY ALL OF THEIR RELATED CONSTRUCTION PERMIT FEES AS AGREED UPON BETWEEN THE OWNER AND CONTRACTOR.
2. BEFORE EXCAVATION, THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, MAPS, AND BUILDING SITE TO DETERMINE THE ROUTES OF ALL UNDERGROUND UTILITIES.
BEFORE DIGGING COMMENCES IT IS ADVISED THAT THE OWNER AND OR CONTRACTOR CALL THEIR STATES UTILITY LOCATOR FACILITATOR.
3. IT IS RECOMMENDED THAT THE SITES SOIL BE TESTED FOR COMPRESSION RATING TO DETERMINE FOUNDATION AND FOOTING DESIGN. CONCRETE FOUNDATIONS AND FOOTING DESIGN SHALL BE IN ACCORDANCE TO CHAPTER 4 OF THE I.R.C. CODE. FOUNDATION DESIGN TO BE VERFIED BY A LOCAL PROFESSIONAL OR ENGINEER. CONSULT A LOCAL CIVIL ENGINEER FOR SITE PLANS AND SURVEYS OF EXISTING PROPERTY. A LANDSCAPE ARCHITECT SHOULD BE CONSULTED FOR MORE EXTENSIVE LANDSCAPE DESIGNS.



FLOOR PLAN NOTES: (2018 IRC)

1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF THE STUD AND DO NOT INCLUDE EXTERIOR FINISHES SUCH AS SIDING, BRICK, STUCCO, ETC.
3. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
4. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
5. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
7. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
8. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2018, R312.1.1 & R312.1.2
9. M1305.1.2 APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTIONS: (A) THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING. (B) WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
10. APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. M1305.1.1
11. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
12. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
13. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING. FOOTAGES SHOWN ARE TO THE OUTSIDE OF THE STUDWALL AND DO NOT INCLUDE THE EXTERIOR FINISH MATERIAL SUCH AS SIDING, BRICK, STONE ETC.
14. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
15. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1505.2

AREAS (FRAME):

2237 S.F. FIRST FLOOR HEATED - INTERIOR NOT INCLUDING PORCH & STOOP
2148 S.F. BASEMENT HEATED
657 S.F. GARAGE
61 S.F. STOOP
79 S.F. BASEMENT STAIR
116 S.F. REAR PORCH
5121 S.F. TOTAL WITHIN EXTERIOR WALLS
5298 S.F. TOTAL UNDER ROOF

FRAMING SQUARE FOOTAGE CALCULATION NOTES:
1. SQUARE FOOTAGE OF HEATED AREA IS FIGURED TO THE OUTSIDE OF THE STUDWALL OF THE EXTERIOR WALLS (DOES NOT INCLUDE MASONRY OR OTHER EXTERIOR MATERIALS).
2. FIREPLACES THAT PROTRUDE FROM THE EXTERIOR FOOTPRINT ARE NOT INCLUDED IN THE HEATED AREA.
3. STAIRWELLS ARE ONLY INCLUDED IN THE FIRST FLOOR CALCULATIONS AND NOT THE SECOND FLOOR CALCULATIONS (IF APPLICABLE).

- **DOOR LABEL/ SIZE:** 3068 IS A DOOR THAT IS 3 FT 0 INCHES WIDE BY 6 FEET 8 INCHES TALL. TO FURTHER CLARIFY, THE 3068 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT). THE DOOR LABEL IS THE ACTUAL SIZE OF THE DOOR ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE DOOR MANUFACTURER CHOSEN AT SITE.
- **WINDOW LABEL/ SIZE:** 3050 IS A WINDOW THAT IS 3 FT 0 INCHES WIDE BY 5 FEET 0 INCHES TALL. TO FURTHER CLARIFY, THE 3050 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT) THE WINDOW LABEL IS THE ACTUAL SIZE OF THE WINDOW ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE WINDOW MANUFACTURER CHOSEN AT SITE.

FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL FRAMING NOTE:
ALL WALLS TO BE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.

MECHANICAL NOTE:
WATER HEATER & HVAC UNIT TO BE LOCATED IN ATTIC SPACE BY CONTRACTOR.

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N·C·B·D·C
NATIONAL COUNCIL OF BUILDING DESIGNER CERTIFICATION
JONATHAN L. BOONE
CERTIFICATION NO. 25-137

Pre-Drawn Plan ID:
2216-S

Date:
7.13.21

Drawn By:
C.A.B.

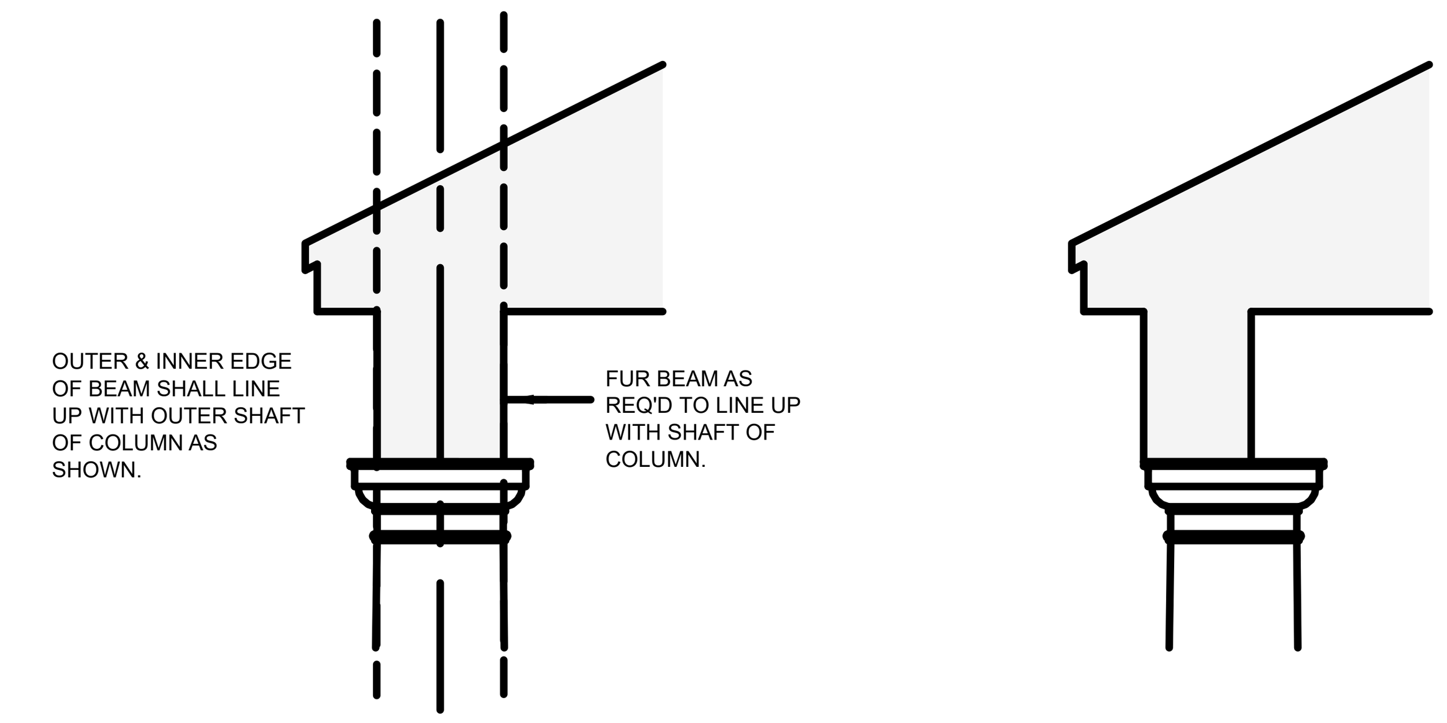
SHEET NUMBER
2

401 FRONT VIEW

SCALE------------------------------------ 1/4" = 1'-0"

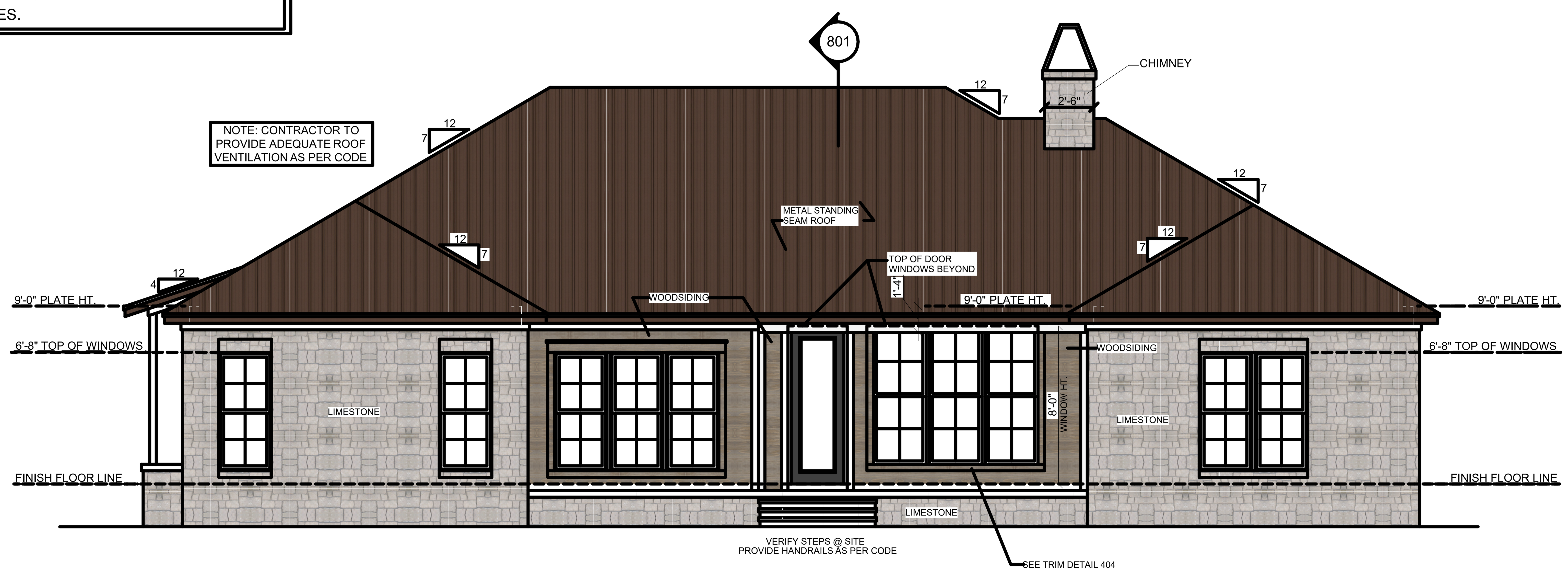
EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



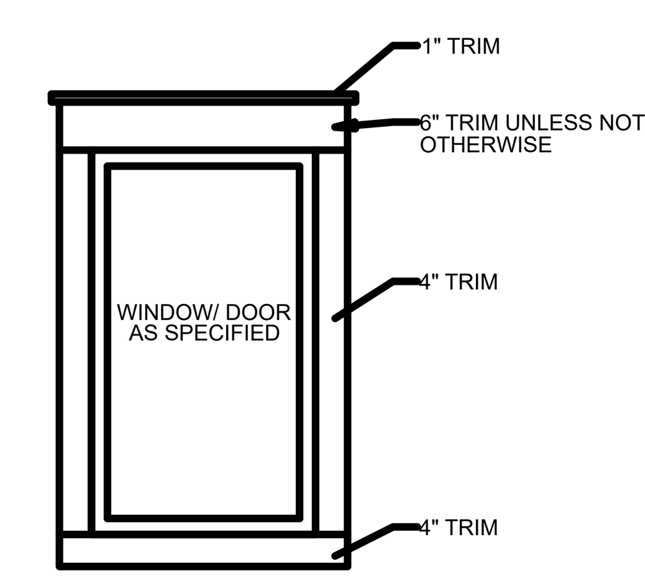
403 COLUMN/ BEAM LOCATIONS

SCALE------------------------------------ N.T.S.



402 REAR VIEW

SCALE------------------------------------ 1/4" = 1'-0"



404 TYPICAL TRIM DETAIL

SCALE------------------------------------ 1/2" = 1'-0"

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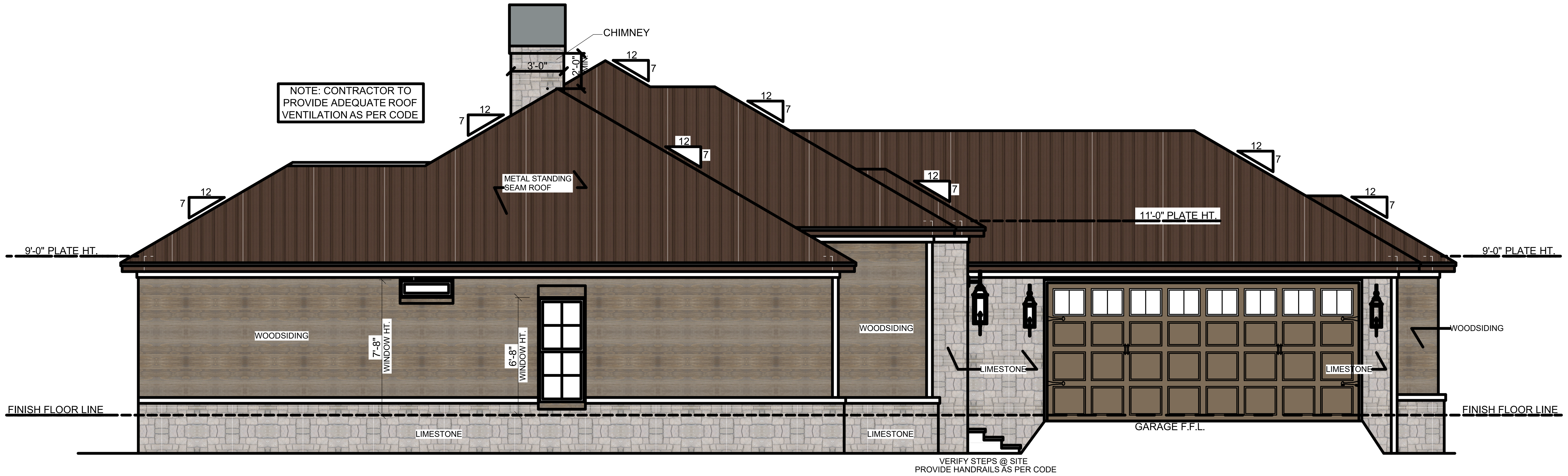
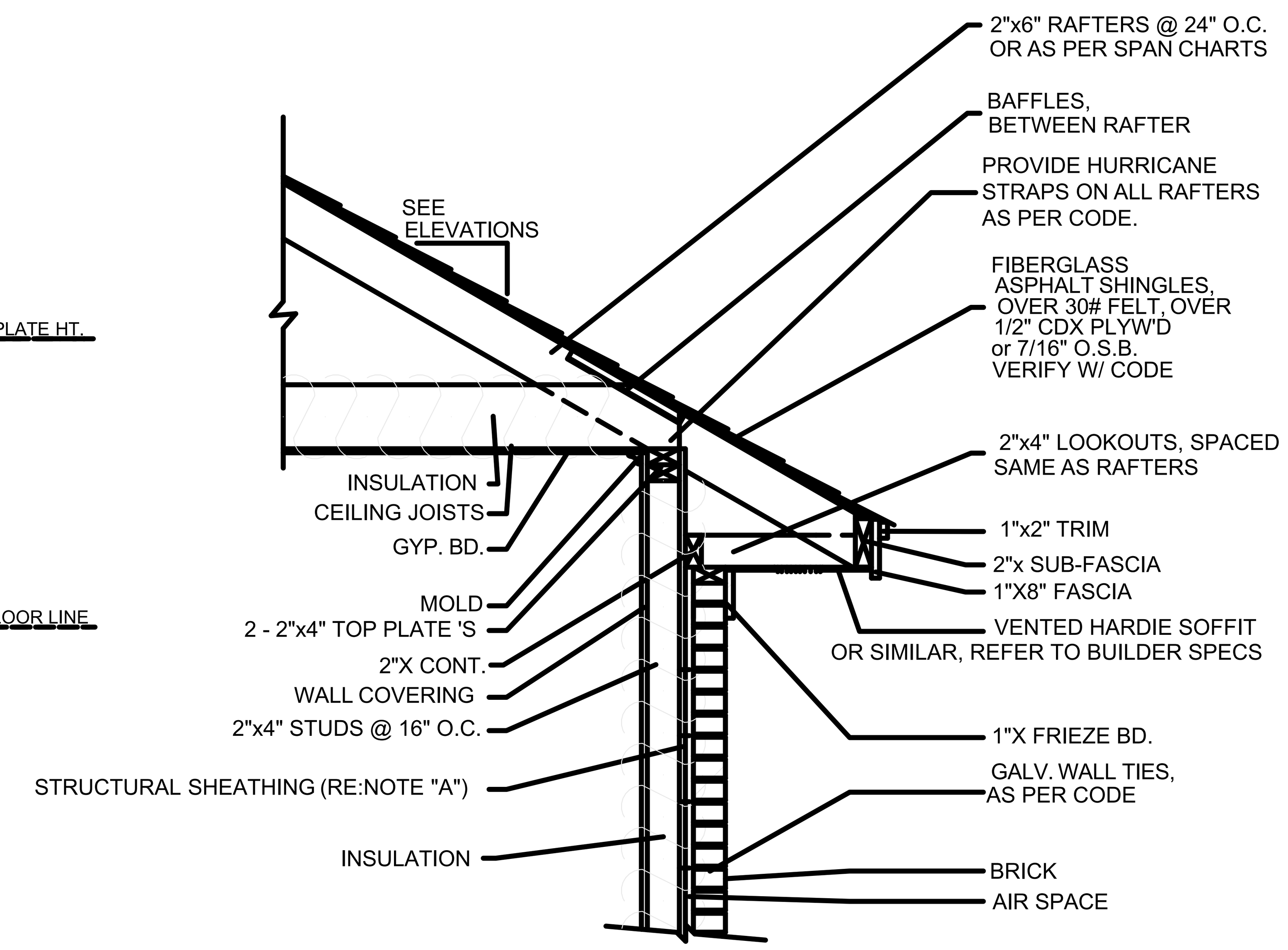
SHEET NUMBER
3



501 LEFT VIEW

SCALE------------------------------------ 1/4" = 1'-0"



NOTE "A": PROVIDE A MINIMUM OF 7/16" STRUCTURAL WOOD PANEL ATTACHED w/ 8d COMMON OR 10d BOX NAILS AT 4" SPACING ON EDGE AND 12" IN FIELD.

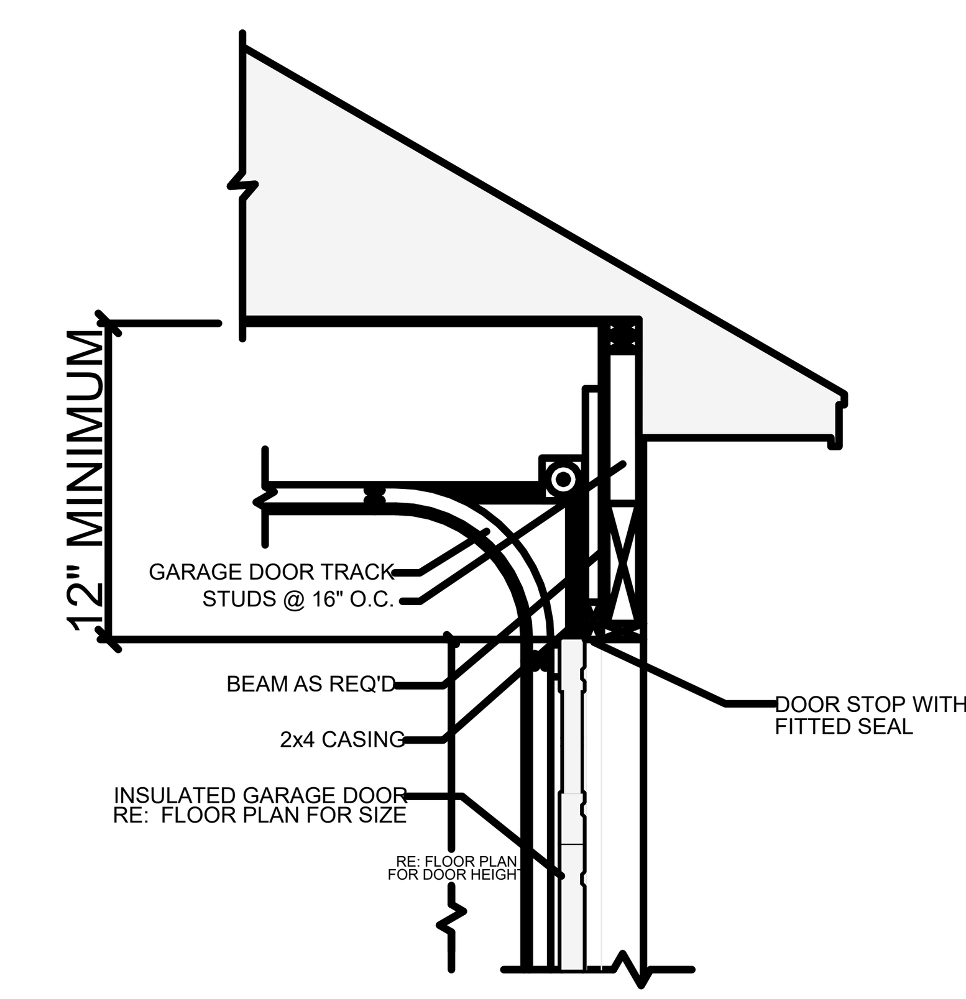
NOTE "B": CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.

503 TYPICAL CORNICE DETAIL

SCALE-------------------------------- 3/4"=1'-0"

EXTERIOR ELEVATION NOTES:

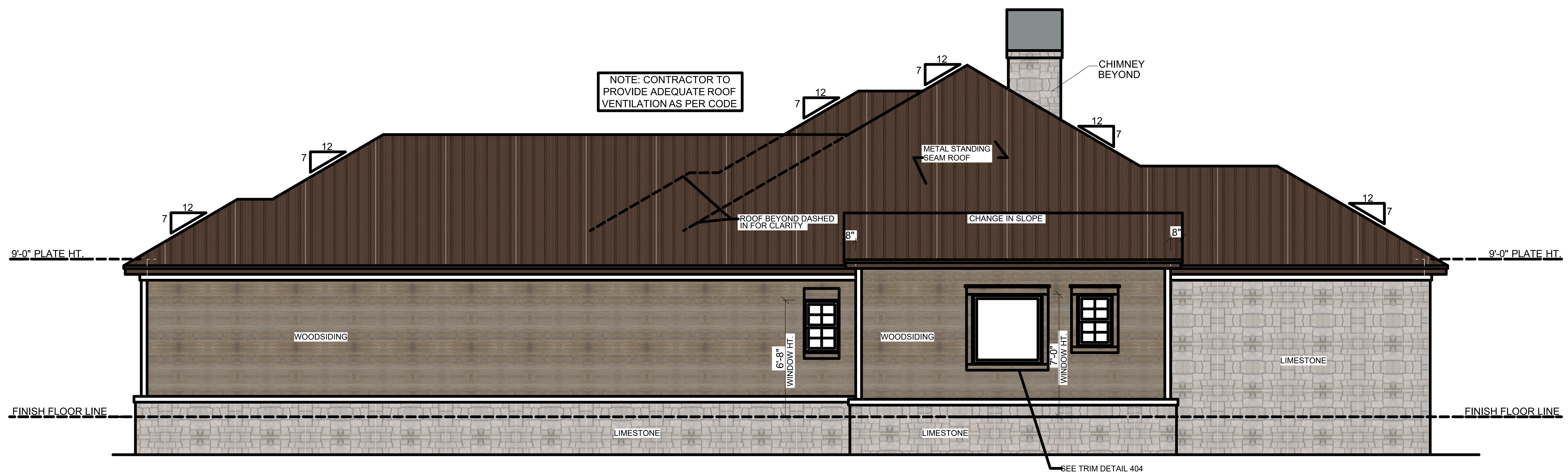
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



504 GARAGE DOOR CLEARANCE

SCALE------------------------------------ N.T.S.

THE INTENT OF THIS DETAIL IS TO SHOW THE MINIMUM REQUIRED DISTANCE FROM THE TOP OF THE GARAGE DOOR OPENING TO THE CEILING OF THE GARAGE.



502 RIGHT VIEW

SCALE------------------------------------ 1/4" = 1'-0"

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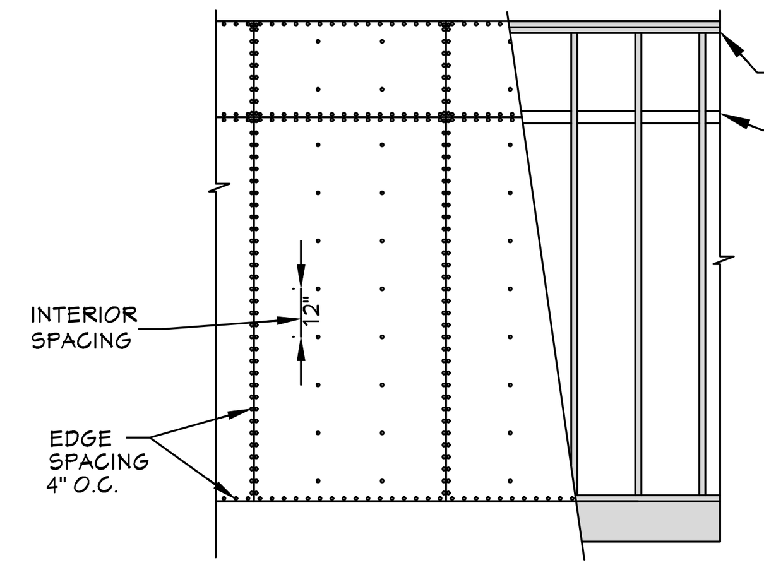
N·C·B·D·C NATIONAL COUNCIL OF BUILDING DESIGNER CERTIFICATION
JONATHAN L. BOONE CERTIFICATION NO. 25-137

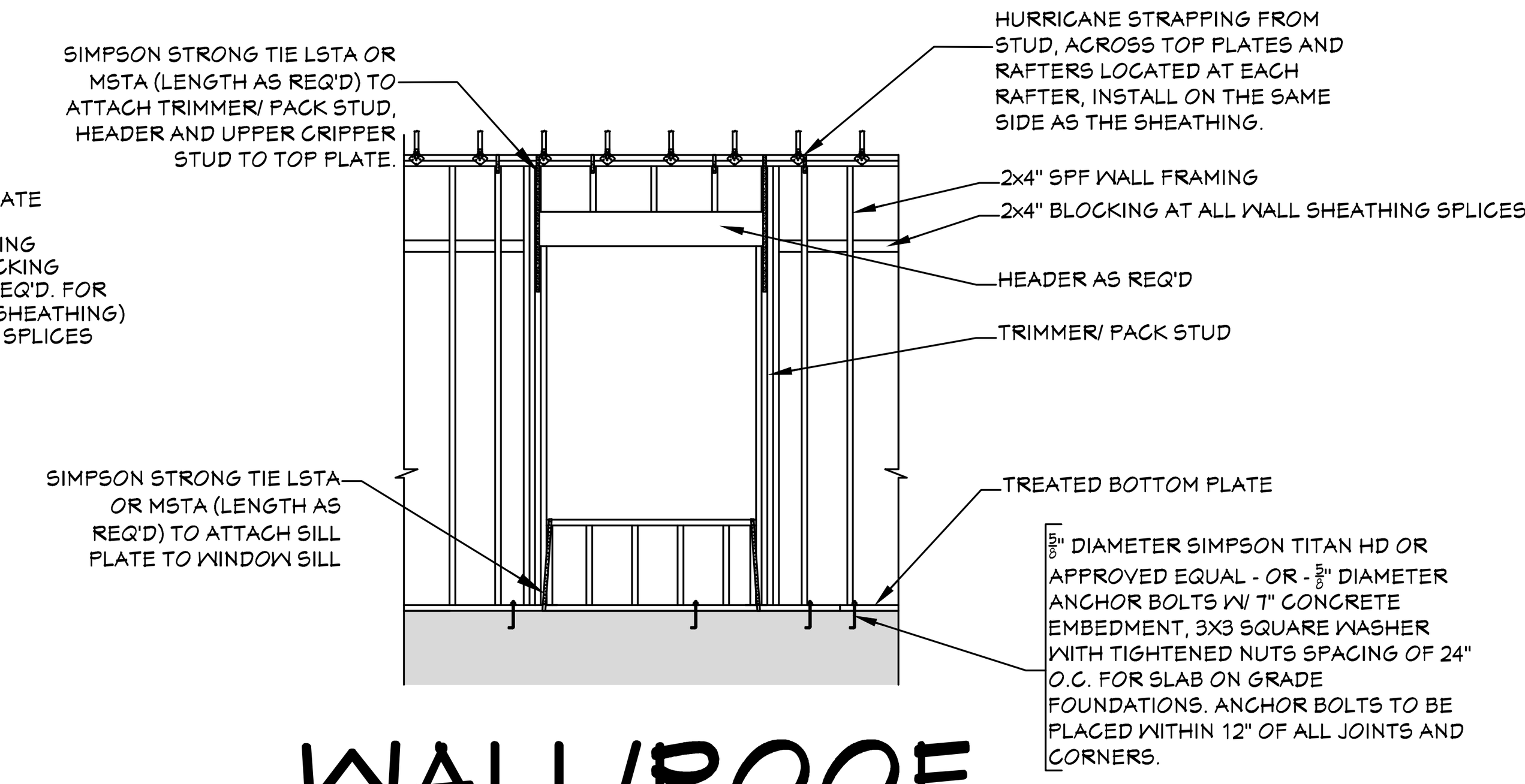
Pre-Drawn Plan ID: 2216-S

Date: 7.13.21

Drawn By: C.A.B.

SHEET NUMBER 4





NAIL SIZE SPACING FOR WALL SHEATHING
8d NAILS MIN. OF 7/16" O.S.B. EDGE SPACING = 4" O.C. INTERIOR SPACING = 12" O.C.

NAIL SIZE SPACING FOR ROOF SHEATHING
8d NAILS MIN. OF 7/16" O.S.B. EDGE SPACING = 4" O.C. INTERIOR SPACING = 4" O.C.

NOTES:
1. ALL EXTERIOR SHEATHING TO EXTEND FROM BOTTOM OF BOTTOM PLATE TO THE TOP OF THE TOP PLATES.
2. PROVIDE 2X4 OR GREATER COLLAR TIES ON EACH RAFTER IN THE UPPER THIRD OF ATTIC AND ATTACHED TO RAFTERS WITH 5 - 10d NAILS ON EACH SIDE
3. SHINGLES OR OTHER ROOF MATERIALS TO BE FASTENED AS PER MANUFACTURERS INSTRUCTIONS FOR HIGH WIND APPLICATIONS.
4. EXTERIOR WALL FINISHES TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS BASED ON HIGH WIND APPLICATIONS.

601 WALL/ROOF FASTENING DETAILS

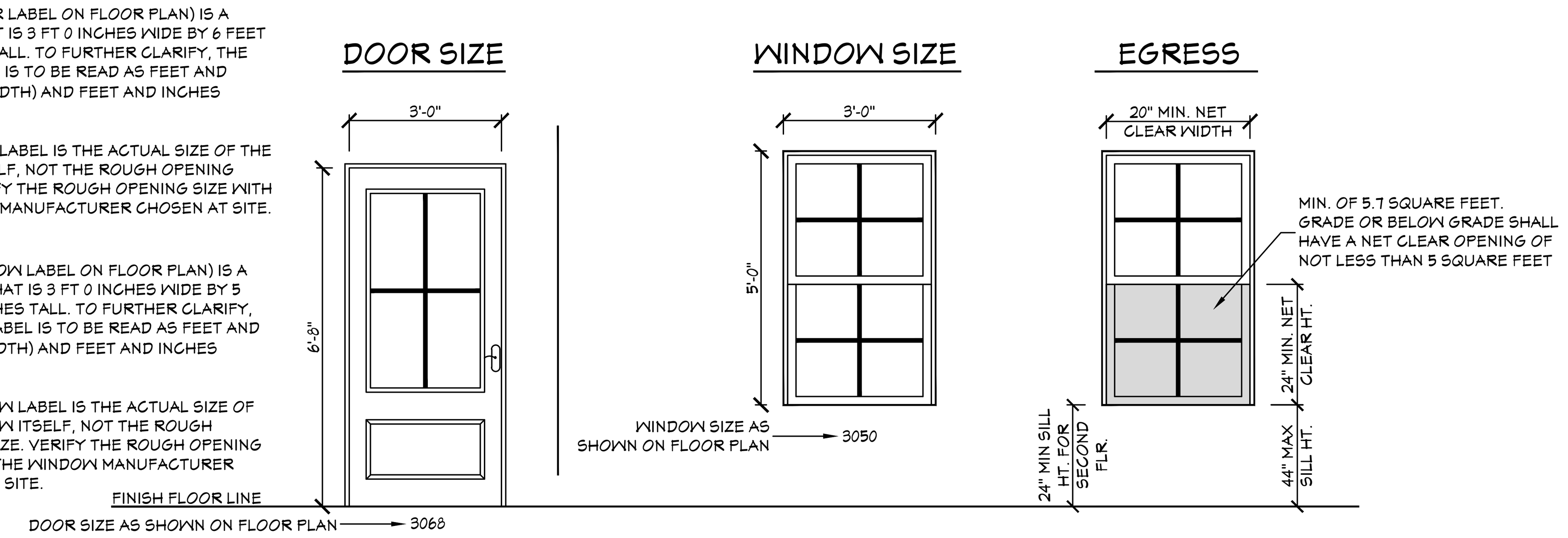
SCALE-------------------------- 1/4" = 1'-0"

3068 (DOOR LABEL ON FLOOR PLAN) IS A DOOR THAT IS 3 FT 0 INCHES WIDE BY 6 FEET 8 INCHES TALL. TO FURTHER CLARIFY, THE 3068 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT)

THE DOOR LABEL IS THE ACTUAL SIZE OF THE DOOR ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE DOOR MANUFACTURER CHOSEN AT SITE.

3050 (WINDOW LABEL ON FLOOR PLAN) IS A WINDOW THAT IS 3 FT 0 INCHES WIDE BY 5 FEET 0 INCHES TALL. TO FURTHER CLARIFY, THE 3050 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT)

THE WINDOW LABEL IS THE ACTUAL SIZE OF THE WINDOW ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE WINDOW MANUFACTURER CHOSEN AT SITE.



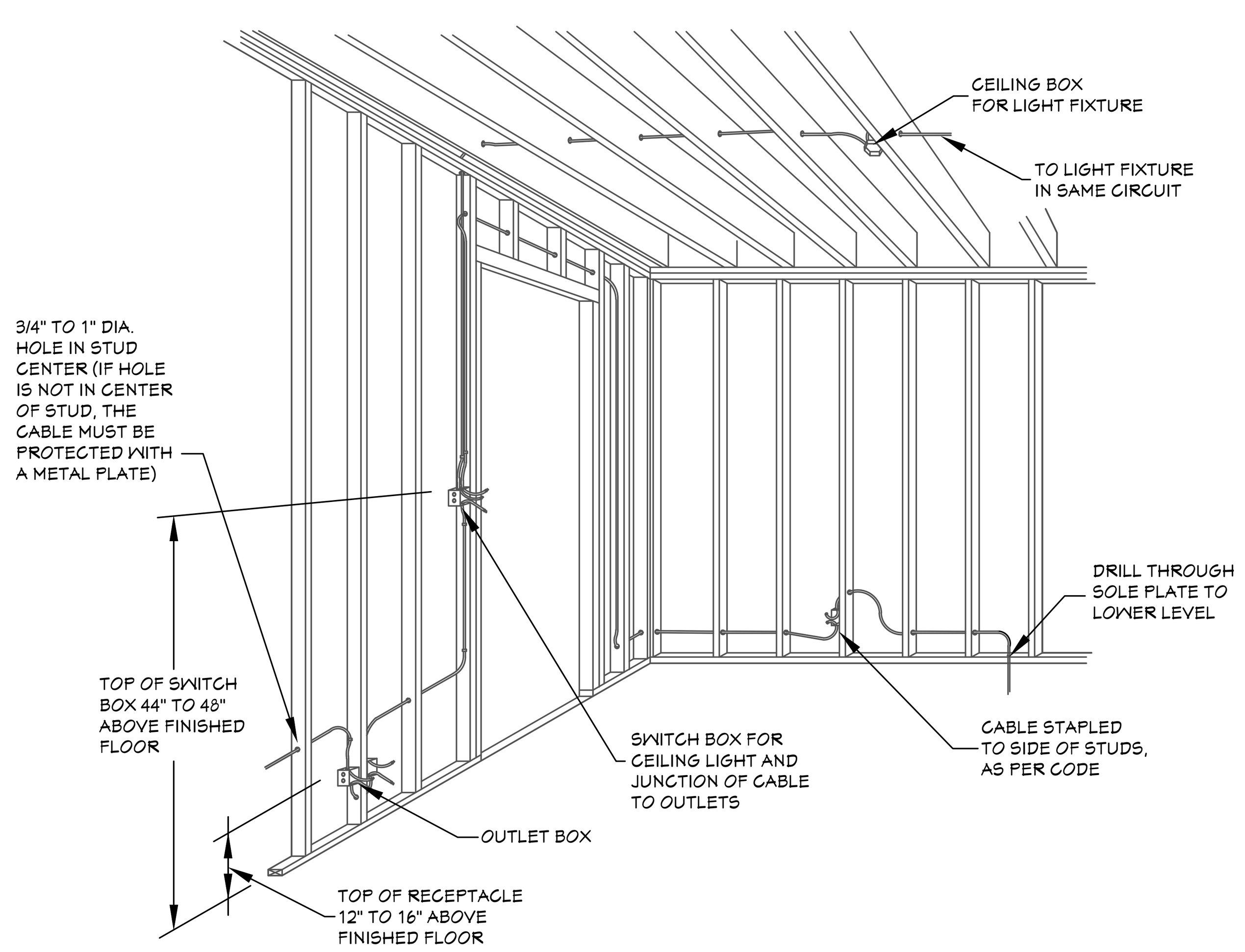
602 OPENING SIZES/ EGRESS

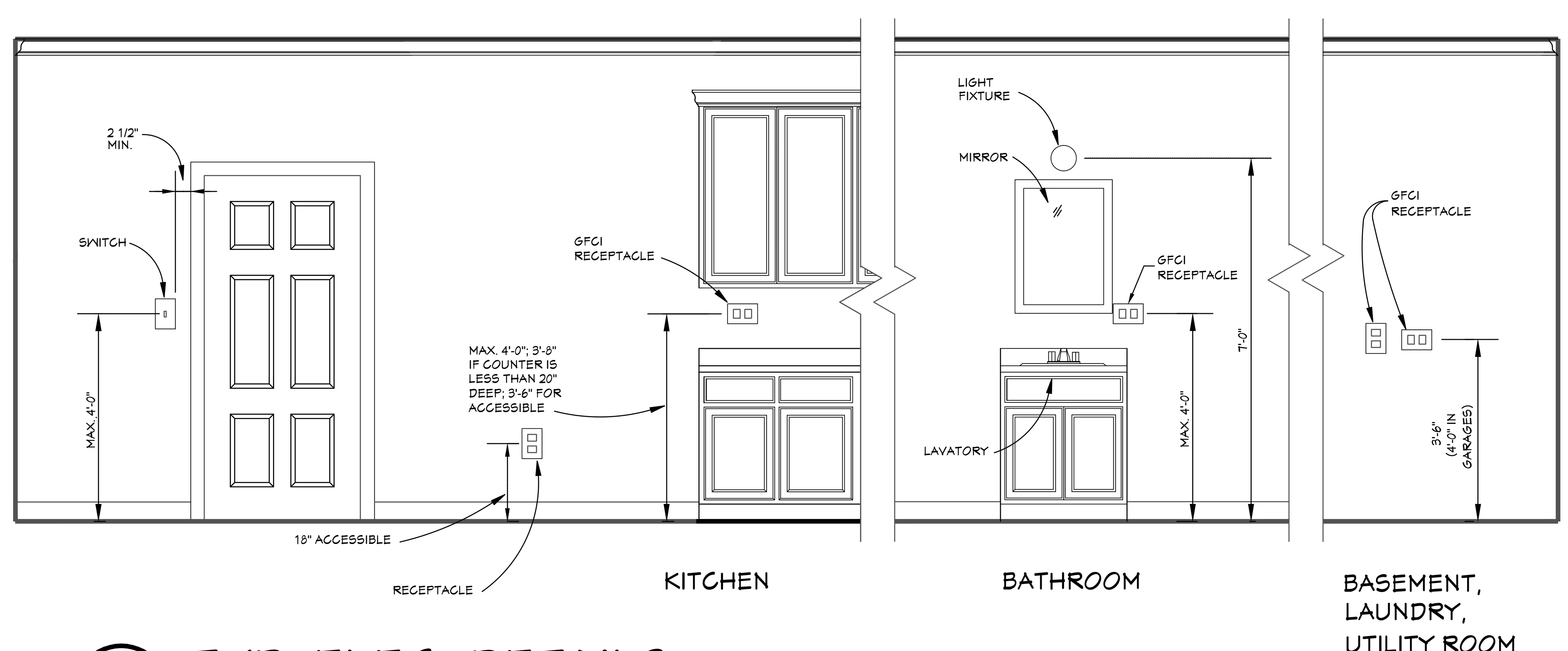
SCALE----------------------------------- NTS

R311.1 Means of egress. Dwellings shall be provided with a means of egress in accordance with this section. The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the required egress door without requiring travel through a garage. The required egress door shall open directly into a public way or to a yard or court that opens to a public way.

R310.2.1 Minimum opening area. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 square feet (0.530 m2). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24 inches (610 mm) and the net clear width shall be not less than 20 inches (508 mm). Exception: Grade floor or below grade openings shall have a net clear opening of not less than 5 square feet (0.465 m2).
R310.2.2 Window sill height. Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than 44 inches (1118 mm) above the floor; where the sill height is below grade, it shall be provided with a window well in accordance with Section R310.2.3.
R310.2.3 Window wells. The horizontal area of the window well shall be not less than 9 square feet (0.9 m2), with a horizontal projection and width of not less than 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Exception: The ladder or steps required by Section R310.2.3.1 shall be permitted to encroach not more than 6 inches (152 mm) into the required dimensions of the window well.

R310.2.3.1 Ladder and steps. Window wells with a vertical depth greater than 44 inches (1118 mm) shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with Sections R311.7 and R311.8. Ladders or rungs shall have an inside width of not less than 12 inches (305 mm), shall project not less than 3 inches (76 mm) from the wall and shall be spaced not more than 18 inches (457 mm) on center vertically for the full height of the window well.
R312.2 Window fall protection. Window fall protection shall be provided in accordance with Sections R312.2.1 and R312.2.2.
R312.2.1 Window sills. In dwelling units, where the top of the sill of an operable window opening is located less than 24 inches (610 mm) above the finished floor and greater than 72 inches (1829 mm) above the finished grade or other surface below on the exterior of the building, the operable window shall comply with one of the following:
1. Operable windows with openings that will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening where the opening is in its largest opened position.
2. Operable windows that are provided with window fall prevention devices that comply with ASTM F 2090.
3. Operable windows that are provided with window opening control devices that comply with Section R312.2.2.
R312.2.2 Window opening control devices. Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the net clear opening area of the window unit to less than the area required by Section R310.2.1.





603 TYP. ELEC. DETAILS

SCALE---------------------------------- N.T.S.

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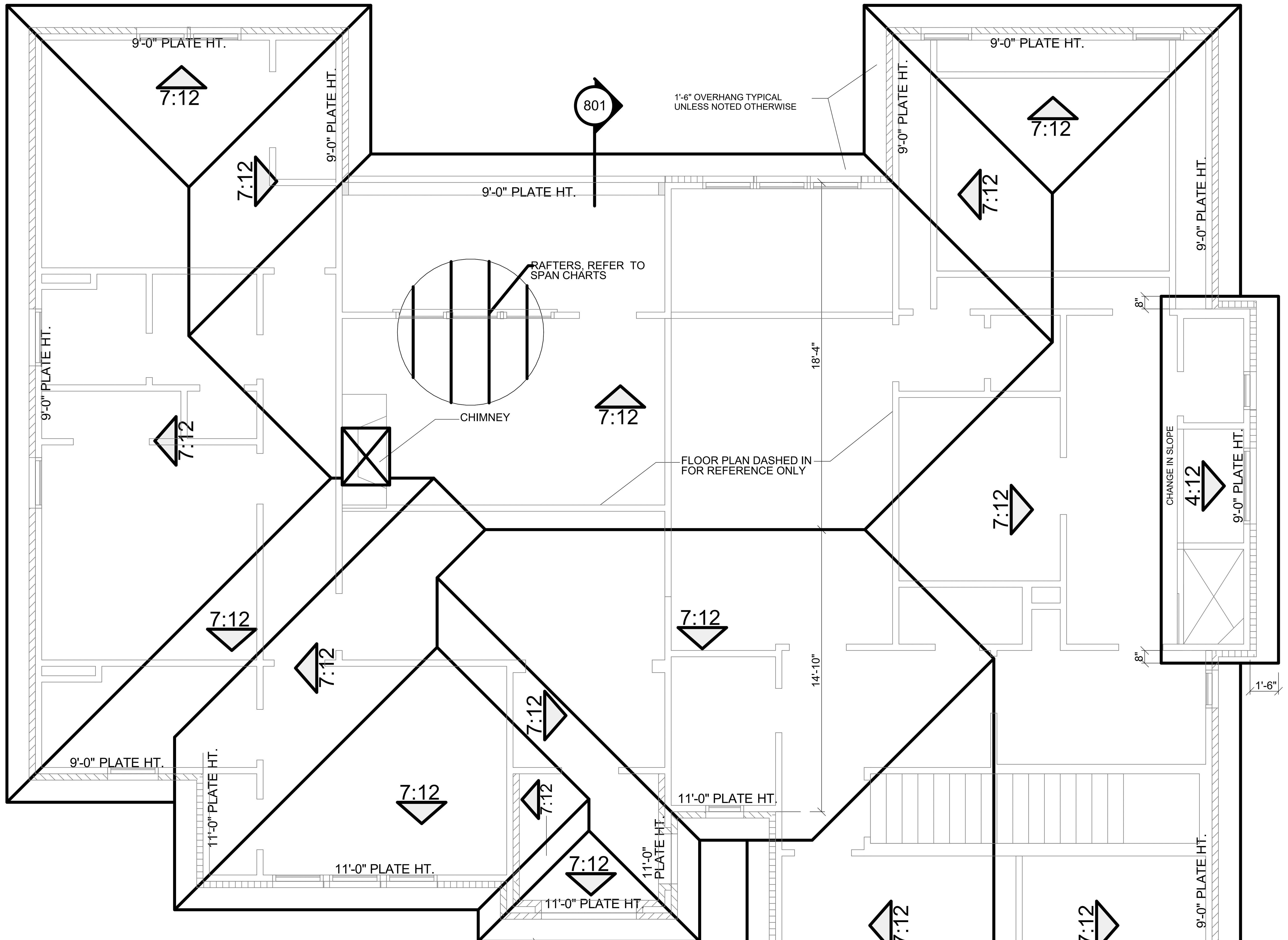
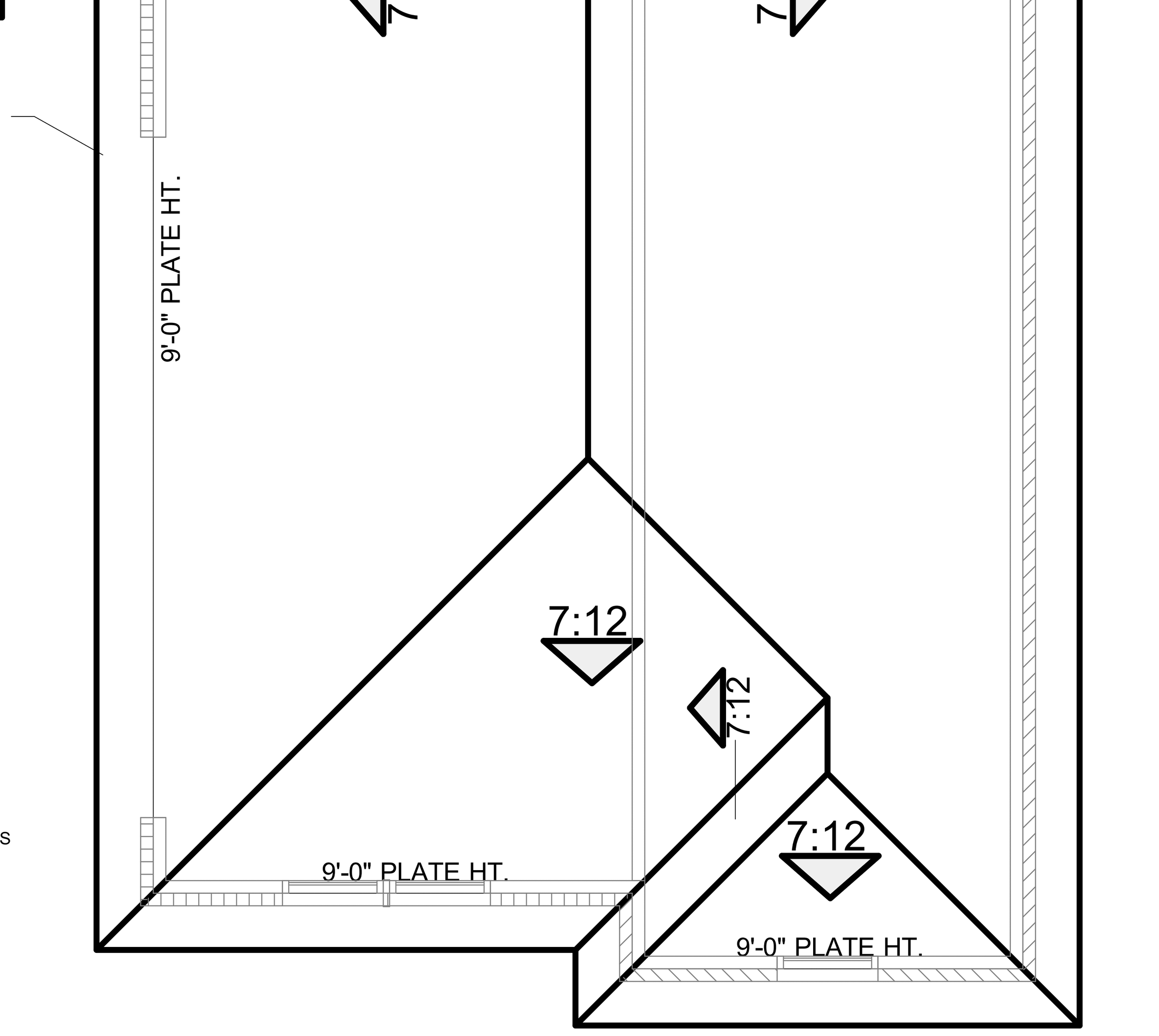
JONATHAN L. BOONE
CERTIFICATION NO. 25-137

Pre-Drawn Plan ID:
2216-S

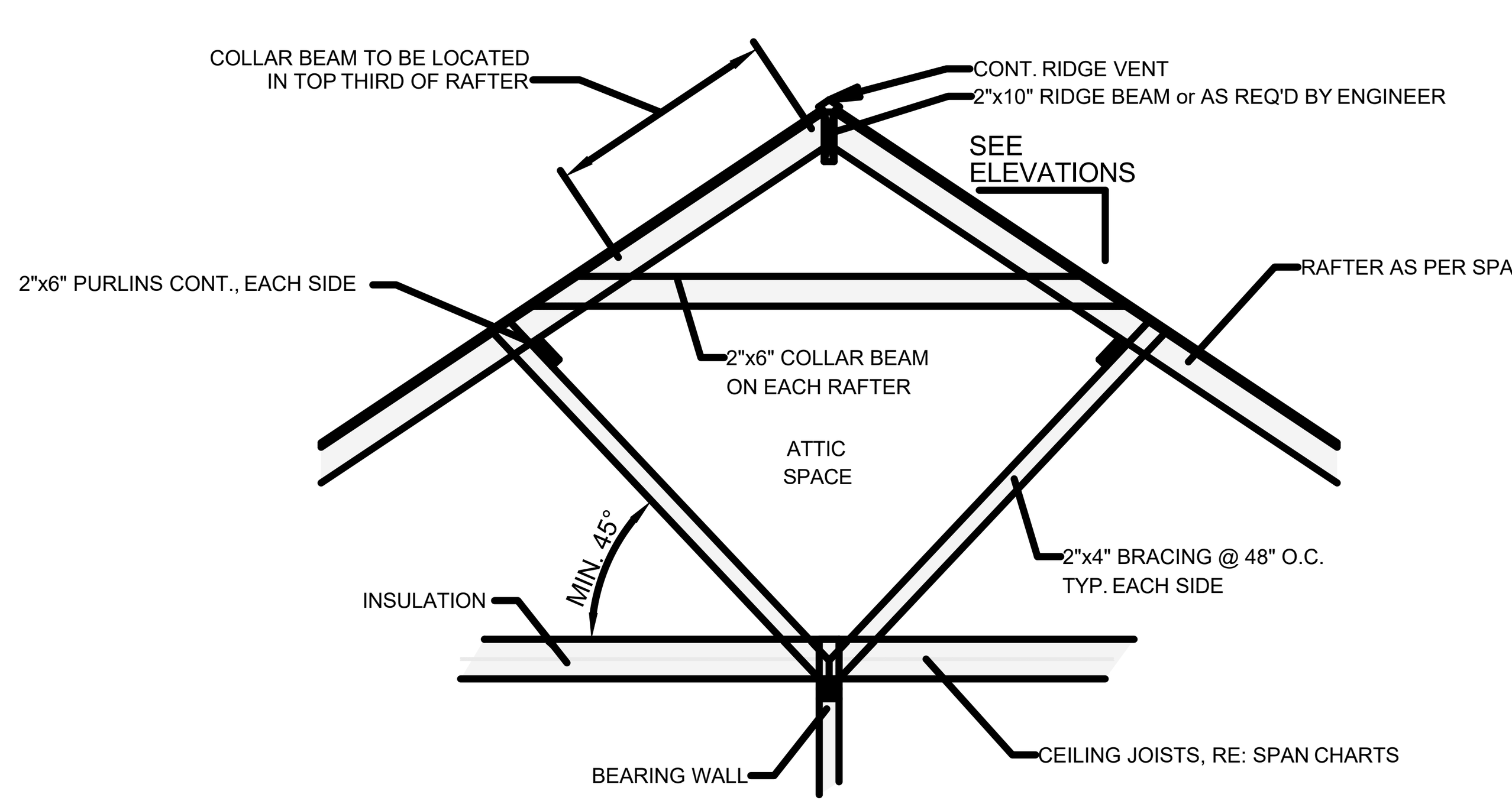
House Plan Zone, LLC. has exercised great care and effort in the development of these plans and the completion of these construction documents. However, due to the great variance in building codes and site specific conditions, House Plan Zone, LLC. assumes no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC. highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction, in addition to your local building officials prior to construction. Additional engineering may be required to comply to seismic, wind and other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.

Date:
7.13.21
Drawn By:
C.A.B.

SHEET NUMBER
5

701 ROOF PLAN
SCALE------------------------------------- 1/4" = 1'-0"



702 TYP. ROOF BRACING
SCALE-------------------------- N.T.S.

ROOF PLAN NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS CONTRACTOR TO TO BE 2" X 10", No.2 S.Y.P.OR AS REQ'D BY ENGINEER.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE.

MAXIMUM HEADER SPANS

HEADER SPANS FOR EXTERIOR BEARING WALLS
SOUTHERN PINE #2 OR BETTER LIVE LOAD=30psf DEAD LOAD = 10psf
ALL SPANS ARE ASSUMING A MAXIMUM OF 24 FEET OF SUPPORTED ROOF FRAMING.

SUPPORTING ROOF AND CEILING ONLY

SIZE (NUMBER OF PLIES IN ( ))	MAXIMUM SPAN (FEET AND INCHES)	JACK STUDS
(2) 2 x 6	4-7	1
(2) 2 x 8	5-9	1
(2) 2 x 10	6-10	2
(2) 2 x 12	8-1	2
(3) 2 x 8	7-3	1
(3) 2 x 10	8-7	2
(3) 2 x 12	10-1	2

SUPPORTING ROOF, CEILING AND ONE CENTER BEARING FLOOR

SIZE (NUMBER OF PLIES IN ( ))	MAXIMUM SPAN (FEET AND INCHES)	JACK STUDS
(2) 2 x 10	5-8	2
(2) 2 x 12	6-8	2
(3) 2 x 10	7-2	2
(3) 2 x 12	8-5	2

NOTES:
1. THE ABOVE INFORMATION IS FROM THE 2018 IRC TABLE R602.7(1).
2. PLEASE REFER TO THE IRC 2018 FOR ADDITIONAL LUMBER SPECIES AND HEADER OPTIONS.
3. ALL HEADER SIZES SHALL BE DESIGNED/ VERIFIED BY A LOCAL PROFESSIONAL.

CEILING JOIST SPANS

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES
(UNINHABITABLE ATTICS WITH LIMITED STORAGE,
LIVE LOAD = 20psf, L/△=240) DEAD LOAD = 10psf)

***IF HABITABLE ATTIC SPACE IS DESIRED,
REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.***

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2 x 6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

NOTES:
The above tables are based on the IRC 2018 TABLE R802.5.1(2)

RAFTER LENGTH CHART

ROOF PITCH		FACTOR
3/12		1.05
4/12		1.07
5/12		1.10
6/12		1.14
7/12		1.17
8/12		1.20
9/12		1.25
10/12		1.30
11/12		1.35
12/12		1.40
14/12		1.54
16/12		1.70

MULTIPY HORIZONTAL SPAN OF MEMBER BY FACTOR.
CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.

HIP/ VALLEY CONVERSION

IF COMMON RAFTER ROOF PITCH IS...			THEN HIP/ VALLEY RAFTER ROOF PITCH BECOMES...	
RISE/ RUN	SLOPE		RISE/ RUN	SLOPE
1/12	5°		1/17	3°
2/12	10°		2/17	7°
3/12	14°		3/17	10°
4/12	18°		4/17	13°
5/12	23°		5/17	16°
6/12	27°		6/17	19°
7/12	30°		7/17	22°
8/12	34°		8/17	25°
9/12	37°		9/17	28°
10/12	40°		10/17	30°
11/12	42°		11/17	33°
12/12	45°		12/17	35°

CONVERSION CHART FOR SIMPLE ROOFS ONLY.
CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.

RAFTER SPANS

RAFTER SPANS FOR SOUTHERN PINE SPECIES
LIVE LOAD=30psf, L/△=180 DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2 x 8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2 x 10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2 x 12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

NOTES:
The above tables are based on the IRC 2018 TABLE R802.4.1(3)

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NATIONAL COUNCIL OF BUILDING DESIGNER CERTIFICATION
JONATHAN L. BOONE
CERTIFICATION NO. 25-137
TM

Pre-Drawn Plan ID:
2216-S

House Plan Zone, LLC. has exercised great care and effort in the development of these plans and the completion of these construction documents. However, due to the great variance in building codes and site specific conditions, House Plan Zone, LLC. assumes no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC. highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction, in addition to your local building officials prior to construction. Additional engineering may be required to comply to seismic, wind and other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.

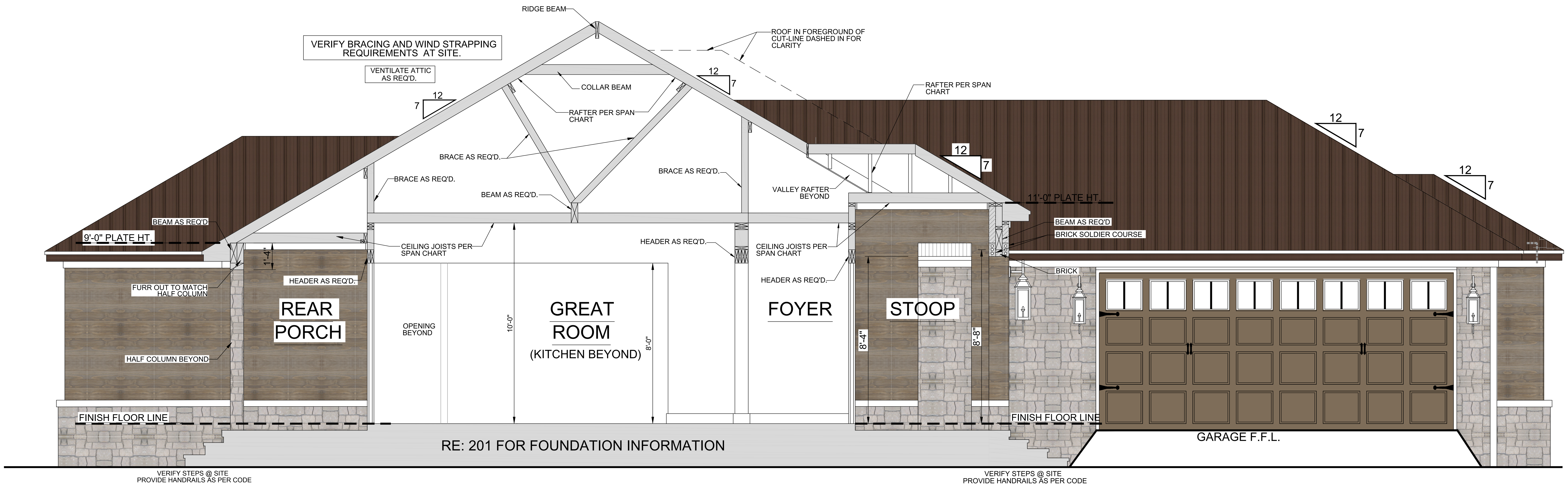
Date:
7.13.21
Drawn By:
C.A.B.

SHEET NUMBER
6

Section 3, Itemc.

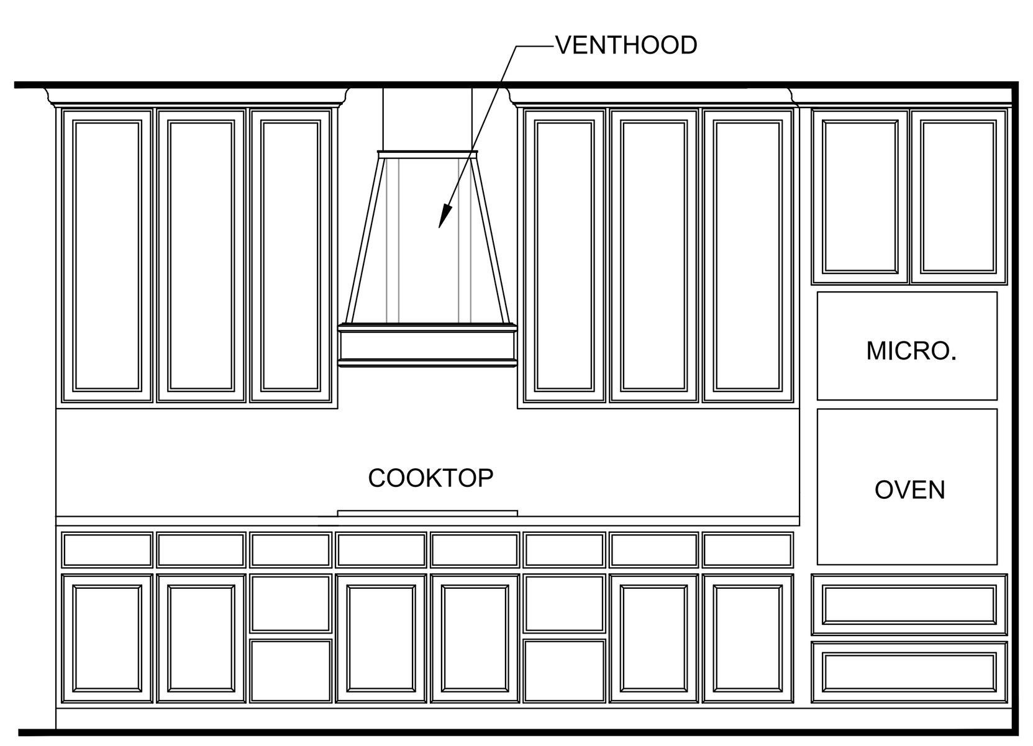
CROSS SECTION NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQUIRED BY LOCAL ENGINEER.
3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
5. ALL BEAMS TO BE SIZED BY A LOCAL PROFESSIONAL OR LICENSED STRUCTURAL ENGINEER.
6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.

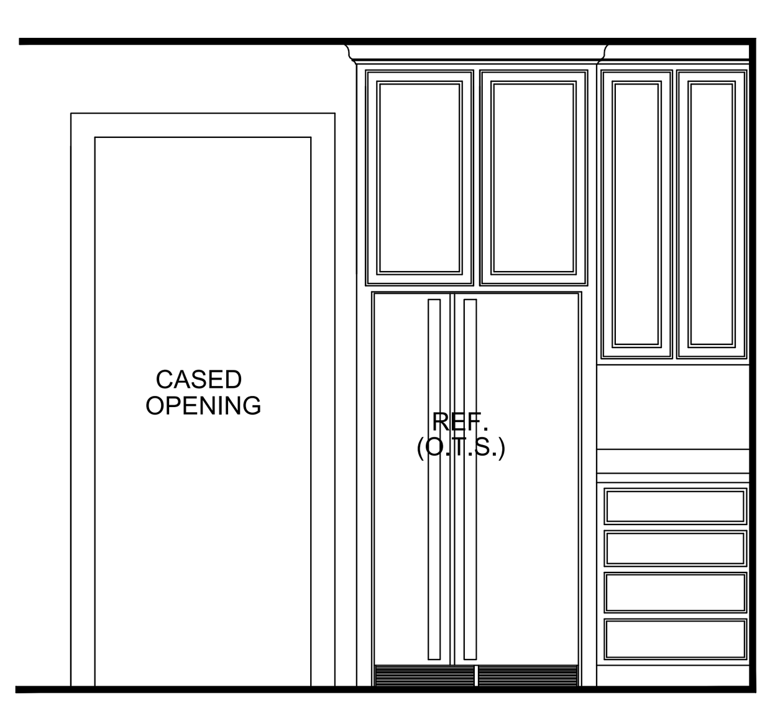


801 CROSS SECTION

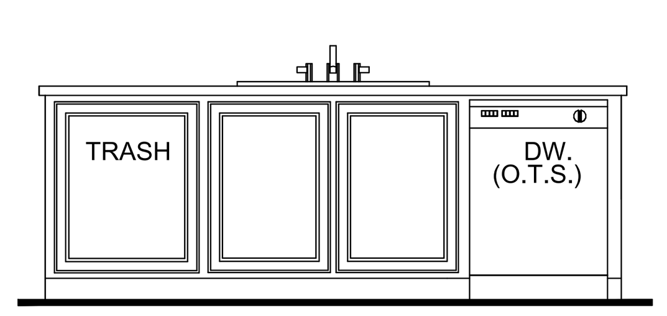
SCALE------------------------------------3/8"=1'-0"



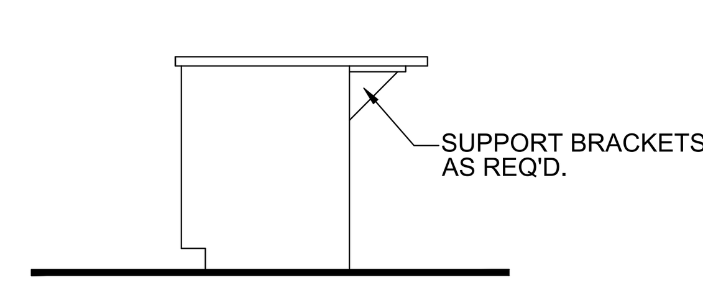
802 KITCHEN
SCALE------------------------- 3/8" = 1'-0"



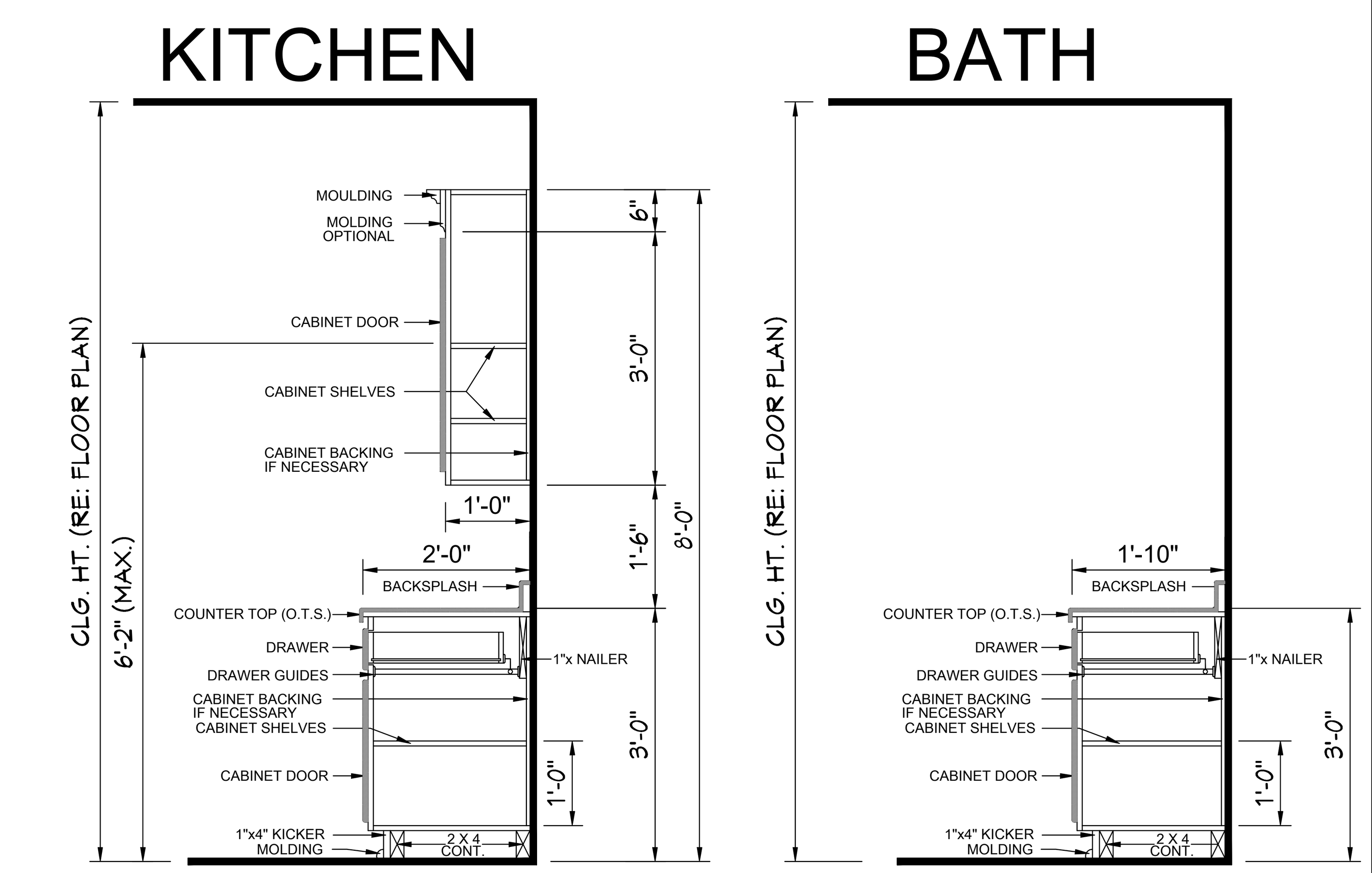
803 KITCHEN
SCALE------------ 3/8" = 1'-0"



804 KITCHEN
SCALE------------------------- 3/8" = 1'-0"



805 KITCHEN
SCALE------------------------- 3/8" = 1'-0"



806 TYP. CABINET SECTIONS
SCALE---------------------------------- N.T.S.

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JONATHAN L. BOONE
CERTIFICATION NO. 25-137

Pre-Drawn Plan ID:
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Date:
7.13.21
Drawn By:
C.A.B.

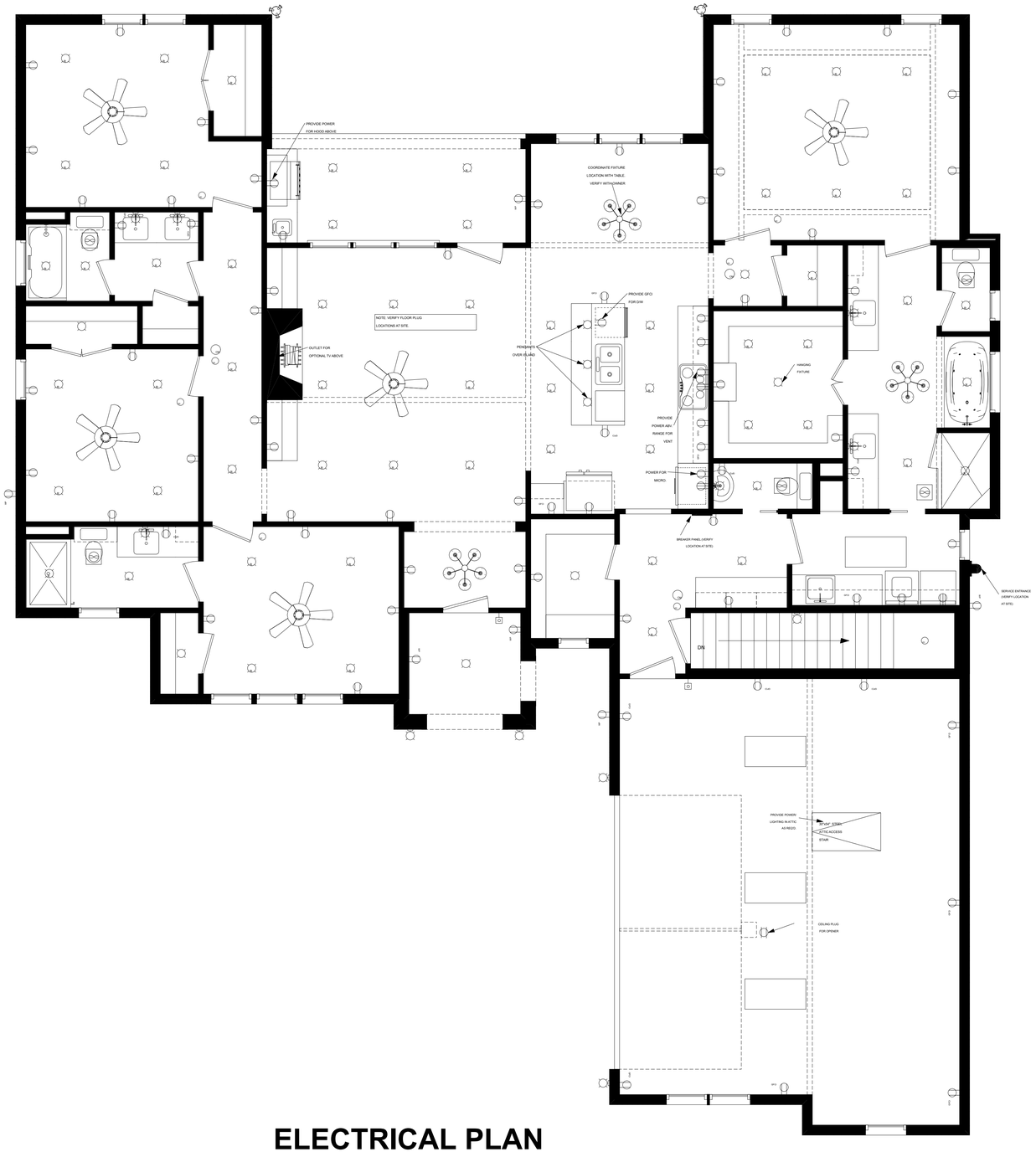
SHEET NUMBER
7

ELECTRICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	110 VOLT OUTLET
GFCI	GROUND FAULT PROTECTED OUTLET
WP	WEATHERPROOF OUTLET
	220 VOLT RECEPTACLE
FO	FLOOR OUTLET (OWNER TO LOCATE)
CH	CEILING HUNG FIXTURE
	OVERHANG MOUNTED FLOODLIGHTS
	WALL MOUNTED FLOODLIGHTS
RC	RECESSED CEILING FIXTURE
	FLUORESCENT LIGHT
CO	CARBON MONOXIDE DETECTOR
S	SMOKE DETECTOR
S	SWITCH
S3	THREE WAY SWITCH
WL	WALL MOUNTED LIGHT
SDIM	DIMMER SWITCH (OWNER TO LOCATE)
SDA	DOOR ACTIVATED SWITCH
WP	WEATHERPROOF OUTLET
CATS	CATS NETWORKING JACK (OWNER TO LOCATE)
TEL	TELEPHONE OUTLET (OWNER TO LOCATE)
TV	TELEVISION OUTLET (OWNER TO LOCATE)
	DOORBELL BUTTON (CONTRACTOR TO LOCATE)
T	THERMOSTAT (CONTRACTOR TO LOCATE)
	CEILING EXHAUST FAN, VENT TO EXTERIOR
	TV SPEAKER
	RADIO SPEAKER
	CEILING FAN ONLY, NO LIGHT KIT
	CEILING FAN WITH LIGHT KIT
	TRACK LIGHTING (OWNER TO LOCATE)
	WALL SCONCE (OWNER TO LOCATE)
	CHANDELIER 1 (O.T.S.)
	CHANDELIER 2 (O.T.S.)
	UNDER COUNTER LIGHTING
	EMERGENCY LIGHTING/ EXIT SIGN

ELECTRICAL NOTES:

1. ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.
2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IS SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARD WIRED WITH A BATTERY BACK UP.
3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.
4. A 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE: SWITCHES AND ELECTRICAL CONNECTIONS ARE NOT SHOWN. OWNER TO LOCATE THESE ITEMS DURING ELECTRICAL WALK-THROUGH WITH ELECTRICAL CONTRACTOR AT SITE.

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JONATHAN L. BOONE
CERTIFICATION NO. 25-137

Pre-Drawn Plan ID:
2216-S

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Date:
6.24.21

Drawn By:
C.A.B.

SHEET NUMBER
8

DEVELOPMENT PLAN FOR:

HLADKY RESIDENCE

ALPINE MEADOWS SUBDIVISION, LOT 9

ALPINE, WYOMING

AUGUST 2025

APPROVAL SIGNATURES:

Professional Engineer Civil
LUKE JOLLEY
13525
Date 8/13/2025
WYOMING

Date: 8/13/2025

HLE, Inc.

Date:

Town of Alpine

INDEX TO PLAN SHEETS

PROJECT LOCATION

CIVIL & STRUCTURAL ENGINEERING
MATERIALS TESTING & LAND SURVEYING
101 S. Park Avenue, Idaho Falls, ID 83402, (208)524-0212
800 W. Judicial Street, Blackfoot, ID 83221, (208)785-2977

FINAL REVIEW SUBMISSION
DATE: 8/13/2025

GENERAL NOTES

1. All materials, workmanship, and construction of site improvements shall meet or exceed the work standards and specifications set forth by the TOWN OF ALPINE Water, Street, and Sanitation Departments and/or requirements of the Wyoming Public Works Standard Specifications, (WPWSS) current edition outside of ROW and WYDOT STANDARD SPECIFICATIONS within the ROW, and the Alpine Meadows Second Amended and Restated Design Guidelines. .
2. All material furnished on or for the project must meet the minimum requirements of the approving agencies or as set forth herein, whichever is more restrictive.
3. The Contractor is cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of the various utility companies and where possible, measurements taken in the field. The Contractor must call the local utility location center at least 48 hours before any excavation to request exact field locations of the utilities.
4. A Pre-Construction Conference shall be held a minimum of three (3) working days prior to start of work. All Contractors, Subcontractors and/or Utility Contractors shall be present.
5. The Contractor shall maintain all existing drainage facilities within the construction area until the drainage improvements are in place and functioning.
6. All Contractors working within the project boundaries are responsible for compliance with all applicable safety laws of any jurisdictional body including but not limited to, barricades, safety devices, control of traffic, excavation, trenching, shoring, and security within and around the construction area.
7. Contractors must furnish proof that all materials installed on this project meet the requirements of Note # 2 above at the request of the agency and/or Engineer.
8. HLE must give approval prior to (a) backfilling trenches for pipe; (b) placing of aggregate base; (c) placing of concrete; (d) placing of asphalt pavement. Work done without such approval shall not relieve the Contractor from the responsibility of performing the work in an acceptable manner. Contract work will not be accepted by the TOWN OF ALPINE without the approval of the Project Engineer.
9. Each Contractor shall be responsible for acquiring any necessary NPDES permits, filing any NOI's or NOT's, and preparing a Storm Water Pollution Prevention Plan (SWPPP) in accordance with the WYOMING DEQ.
10. The Contractor shall be responsible for keeping roadways free and clear of all construction debris and dirt tracked in from the site.
11. All measures possible shall be taken to ensure erosion control with Best Management Practices.
12. Quantities shown are estimates by the Engineer. The Contractor must verify all quantities. If there is a large discrepancy contact the Engineer.
13. All work must meet standards set forth by the American Disabilities Act (ADA).
14. Trench backfill Type 2A compaction "Water Settling" will not be an acceptable method of trench backfill compaction.
15. All water valves, blow-offs and manholes will be placed so as not to conflict with any concrete curb, gutter, valley gutter, and sidewalk improvements.
16. HLE and/or Inspector shall make periodic visits to the project location to ensure that the site improvements meet or exceed standards and design as per the approved construction drawings.
17. To receive final acceptance, Contractor must submit copy of field plans complete with construction notes and As-Built information, corrections, changes, etc.
18. Contractor must have WPWSS Manual (current edition) and WYDOT Standard Specifications on-site during all phases of construction.

WATER NOTES

1. The water system shall be constructed to conform with the standards set forth in the "Wyoming Administrative Rules on Water Quality" Chapters 3, 11, and 12 and the current WPWSS standard drawings and specifications.
2. The pipe shall be installed in a workmanlike manner by persons properly qualified to perform said work and shall be in conformance with the manufacturer's recommendations as approved by the City Engineer. All work and materials must conform to current requirements of the WPWSS.
3. All water services shall have a minimum cover of 6 feet and follow the standards and specifications per WPWSS Section 02665. The trenches shall be compacted to 95% of maximum density to prevent further settlement.
4. Where it is necessary for sewer, storm drain or irrigation and water to cross each other and the sewer line is less than 18" below the water main, the crossing shall conform to WPWSS Section 02655 Part 3.01.F.
5. All tees, plugs, caps and bends, and at other locations where unbalanced forces exist, shall be secured and anchored by concrete thrust blocks as shown on WPWSS Standard Drawing 02665-03.
6. At all times, when laying pipe is not in progress, open ends of the pipe shall be closed by a watertight plug or other approved means. At the close of the day's work, or whenever workmen are absent from the job, the end of the last laid section shall be plugged, capped, or tightly closed to prevent entry of foreign material.

STORMWATER NOTES

1. The stormwater system shall be constructed to conform with the standards set forth in the current WPWSS standard drawings and specifications.
2. The pipe shall be installed in a workmanlike manner by persons properly qualified to perform said work and shall be in conformance with the manufacturer's recommendations as approved by the City Engineer. All work and materials must conform to current requirements of the WPWSS. Stormwater distribution pipe shall be 12" Corrugated galvanized pipe or equivalent.
3. Stormwater facilities shall be installed and maintained by owner or his assigns.

SITE PLAN NOTES

1. This site plan conforms to an actual survey that was performed on the ground by a licensed land surveyor or in and for the State of Idaho. It is the owner's responsibility to construct all structures shown on this site plan in accordance with said survey.
2. All on-site improvements shall be constructed in accordance with current TOWN OF ALPINE ordinances and resolutions and WPWSS.
3. Approximate locations of some known existing underground utilities are shown heron. It shall be the contractors responsibility to determine exact locations of all existing utilities prior to beginning work. The contractor agrees to be fully responsible for any and all damages to existing utilities.
4. See landscaping plan for location of irrigation sleeves. Contractor to verify and coordinate irrigation sleeve locations and sizes with irrigation designer prior to installation of curb, gutter , paving and sidewalks.
5. All buildings are to be built according to the IBC current edition with commercial water and sewer services. See architectural plans for all building details.
6. Dumpster area is to enclosed. If gated owner will be required to open doors for sanitation dept. Minimum 8' x 8' interior.
7. Within five (5) working days after the completion of work, the contractor shall submit a set of as-built plans to HLE, Inc.

CONTACTS

DEVELOPER/OWNER
KATE HLADKY
katehladky@yahoo.com

LAND SURVEYOR
HLE
CHRIS STREET, PLS
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CSTREET@HLEINC.COM

CIVIL ENGINEER
HLE
LUKE JOLLEY, P.E.
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LUKEJ@HLEINC.COM

FALL RIVER ENTERPRISES, INC
CARISSA HARMON
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carissa.harmon@fallriverelectric.com

SILVER STAR
JARON JENSEN
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jaron.jensen@silverstar.net

LOWER VALLEY ENERGY
ANGLE LEAVITT
(307) 885-6102
aleavitt@lvenergy.com

hlepc.com

Stamp

Professional Engineer Civil
R. LUKE JOLLEY
13525
Date
WYOMING
8/13/2025

811
Know what's below.
Call before you dig.

DRAWN BY	DESIGN BY	CHECK BY
MT	SVD	SVD

JOB NO: 2025-559

DATE: AUGUST 2025

REVISIONS	DATE

NOTES
HLADKY RESIDENCE
ALPINE, WYOMING

SHEET NO. 2 OF 5 SHEETS

Z:\Projects\00-2025 Projects\25-559 Hladky Residence\3-CAD\Civil\25-559 HLADKY RESIDENCE.dwg

SITE INFORMATION

ZONING = R-1
USE = RESIDENTIAL SINGLE-FAMILY HOUSE
PROPERTY DESCRIPTION AND SIZE
LOT 9, ALPINE MEADOWS SUBDIVISION
PROPOSED DEVELOPED AREA = 0.41 AC (17,700 SF)
LOT AREA OUTSIDE ROW EASEMENT: 14,750 SF
IMPERVIOUS AREA OUTSIDE ROW EASEMENT: 5,173 SF (35.1%)

BUILDING INFORMATION

EXISTING BUILDINGS = 0
PROPOSED BUILDINGS = 1
SINGLE-FAMILY BUILDING
TOTAL AREA = 3,150 SF
TOTAL PERIMETER = 300 FT
HEIGHT = 21.77 FT (ABOVE LOWEST ADJACENT GRADE, 20.08' ABOVE FINISHED FLOOR.)
CONSTUCTION TYPE = VB
SEE ARCHTECTURAL PLANS FOR DETAILS

PARKING REQUIREMENTS

EXTERIOR PARKING PROVIDED = 600 SF
GARAGE PARKING SPACES PROVIDED = 2
GARAGE TOTAL AREA = 657 SF

SNOW STORAGE

DRIVEWAY AREA = 1,772 SF
SNOW STORAGE REQUIRED = 354 SF
SNOW STORAGE PROVIDED = 365 SF

SITE NOTES:

1. INSTALL CONCRETE DRIVEWAY. SEE BALLAST DETAIL ON GRADING SHEET.
2. SNOW STORAGE AREA. SEE SNOW STORAGE CALCULATION.
3. LANDSCAPE. SEE LANDSCAPE PLAN FOR DETAILS.
4. INSTALL 5' WIDE STRIP OF 4x4 W4xW4 WELDED WIRE MESH CENTERED OVER CULVERT, REINFORCEMENT COVER PER ACI STANDARDS.
5. INSTALL WINDOW WELLS, SEE ARCHITECTURAL PLANS FOR DETAILS.
6. INSTALL 6' WIDE CONCRETE STAIRS. TWO 12" TREADS, THREE 6.5" RISES.
7. INSTALL 8' WIDE CONCRETE STAIRS. TWO 12" TREADS, THREE 5.5" RISES.

CONSTRUCTION NOTES:

GENERAL:

100-1 RETAIN AND PROTECT EXISTING UTILITY.

100-2 FIELD VERIFY LOCATION AND DEPTH.

WATER:

400-1 INSTALL 83' OF 1" HPDE POLY SERVICE LINE WITH COMPRESSION FITTINGS PER ALPINE WATER AND SEWER STANDARDS SECTION 4.12.1.

400-2 MINIMUM 18" OF VERTICAL SEPARATION, SLEEVE SEWER LINE AT CROSSING AND EXTEND AT LEAST 2.5' BOTH DIRECTIONS.

400-3 INSTALL WATER METER PER DETAIL IN SHEET 5.

SEWER:

500-1 INSTALL 81' OF 4" PVC SDR-35 SEWER PIPE AT MIN 2% SLOPE. FIELD VERIFY EXISTING STUB AND COORDINATE WITH ENGINEER IF INVERTS VARY FROM THOSE SHOWN ON PLANS.

500-2 INSTALL 4" PVC SDR-35 DOUBLE SWEEP CLEANOUT PER ALPINE WATER AND SEWER STANDARDS SECTION 3.9.2. AND TOWN OF ALPINE STARDARD DRAWING NO. S-004 PER DETAIL IN SHEET 5. INSTALL TRACE WIRE FROM SEWER SERVICE CLEANOUT LOCATED NEAR THE PROPERTY LINE ALONG THE PIPE TO THE FOUNDATION POINT OF CONNECTION, AND TERMINATE IT ABOVE GRADE.

STORM DRAIN:

600-1 INSTALL 26' OF 12" GALVANIZED CMP AT 0.54% SLOPE.

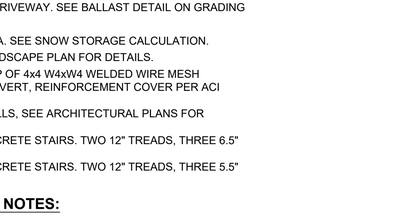
OTHER:

700-1 INSTALL COMMUNICATION LINES. COORDINATE WITH SILVER STAR COMMUNICATIONS.

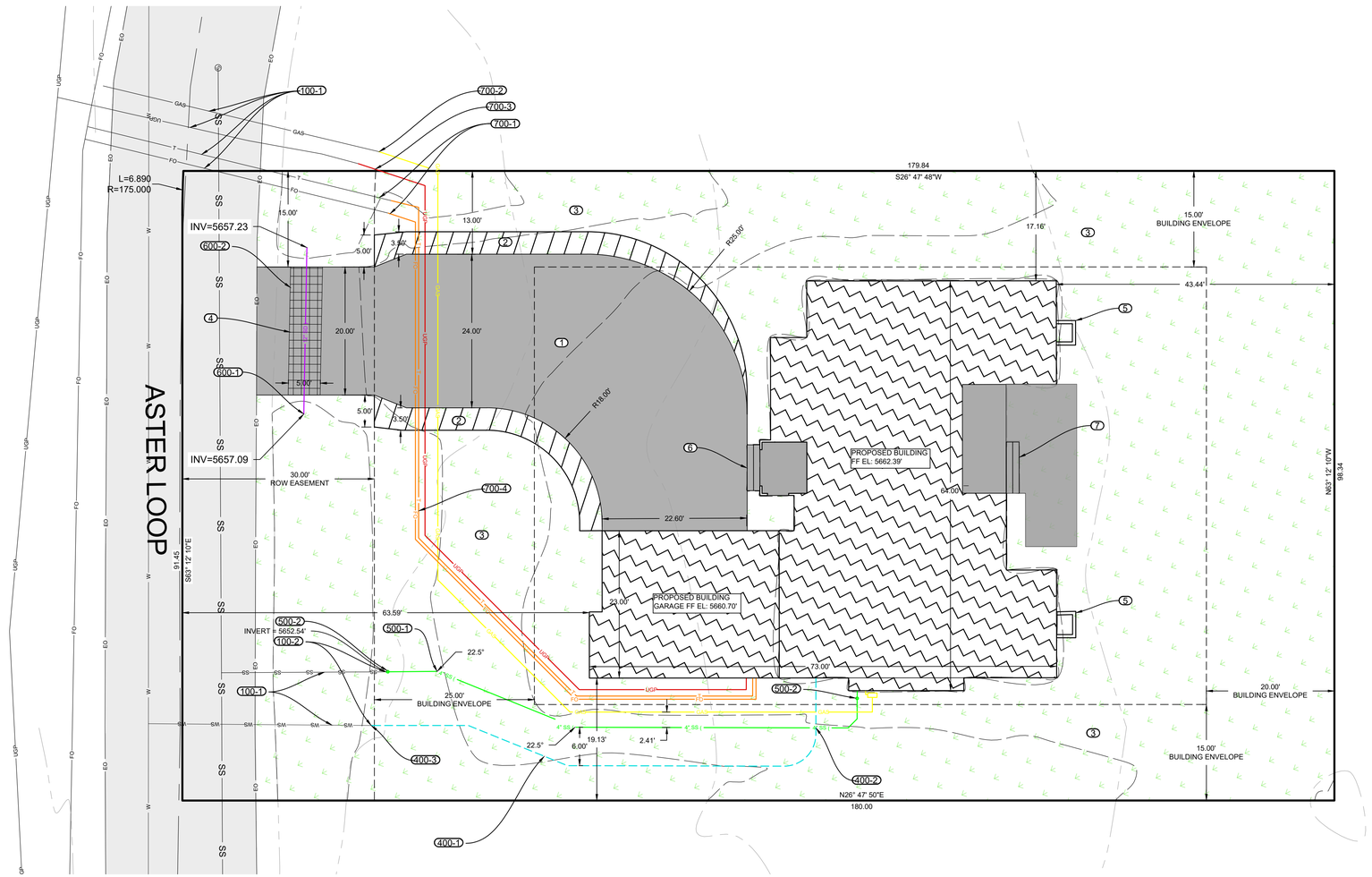
700-2 INSTALL OF PROPANE SERVICE. COORDINATE WITH FALL RIVER PROPANE.

700-3 INSTALL OF POWER SERVICE PER CONTRACTOR MAP. COORDINATE WITH LOWER VALLEY ENERGY FOR DETAILS/PLANS.

700-4 SEE UTILITY TRENCH DETAIL. ON THIS SHEET



UTILITY TRENCH DETAIL
N.T.S



GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 10 ft.
(24"X36")

Z:\Projects\00-2025 Projects\25-559 Hladky Residence\3-CAD\Civil\25-559 HLADKY RESIDENCE.dwg

bhinc.com

Stamp

Professional Engineer Civil
B. LUKE JOLLEY
13525
Date
WYOMING
8/13/2025

811 Know what's below. Call before you dig.

DRAWN BY	DESIGN BY	CHECK BY
MT	SVD	SVD

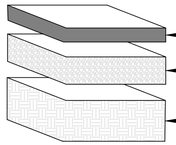
JOB NO: 2025-559
DATE: AUGUST 2025

REVISIONS	DATE

GENERAL LAYOUT AND UTILITY PLAN
HLADKY RESIDENCE
ALPINE, WYOMING

SHEET NO. 3 OF 5 SHEETS

DRIVEWAY BALLAST:



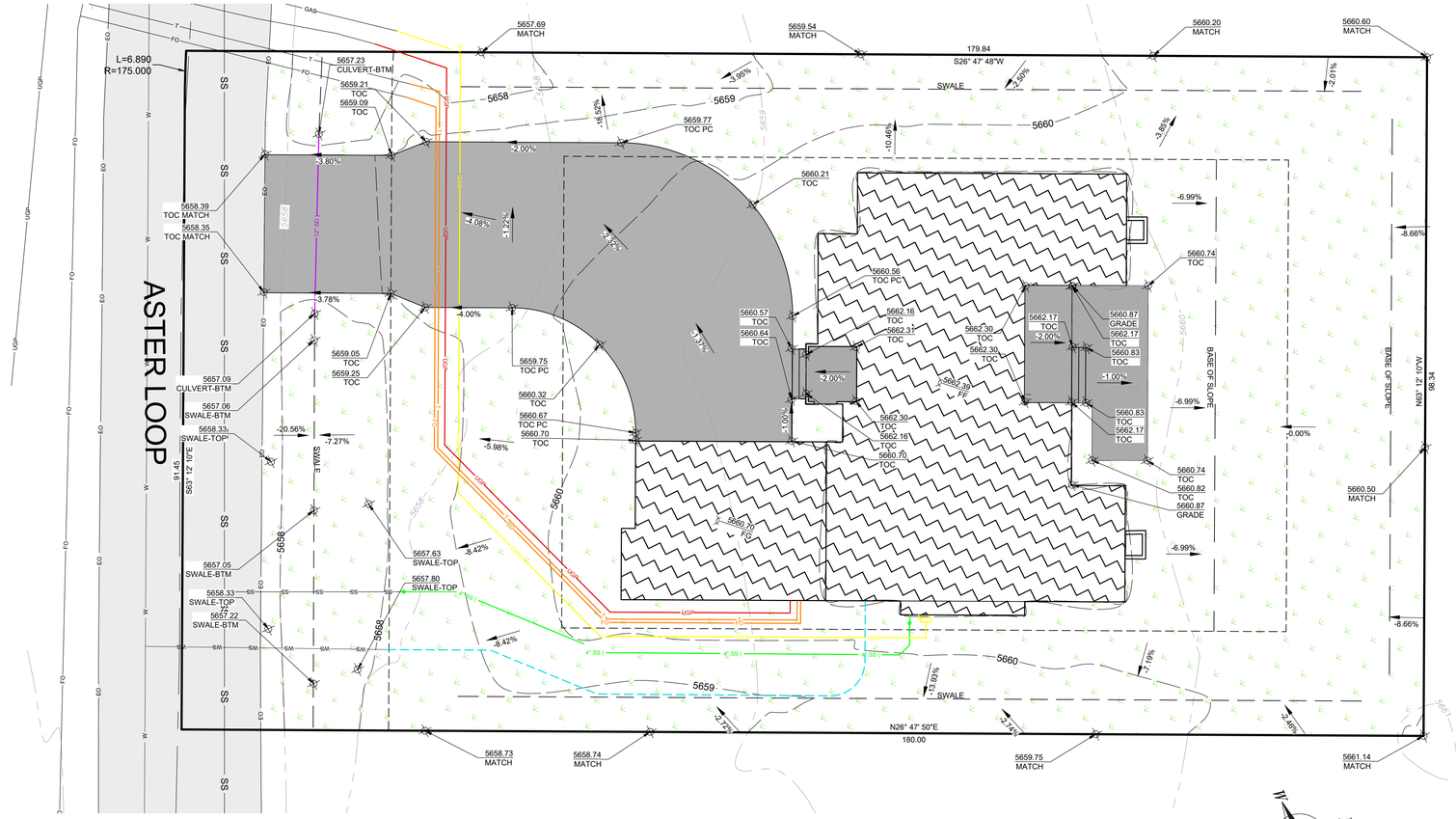
4" DEPTH, 28-DAY 4,000 PSI AIR ENTRAINED CONCRETE

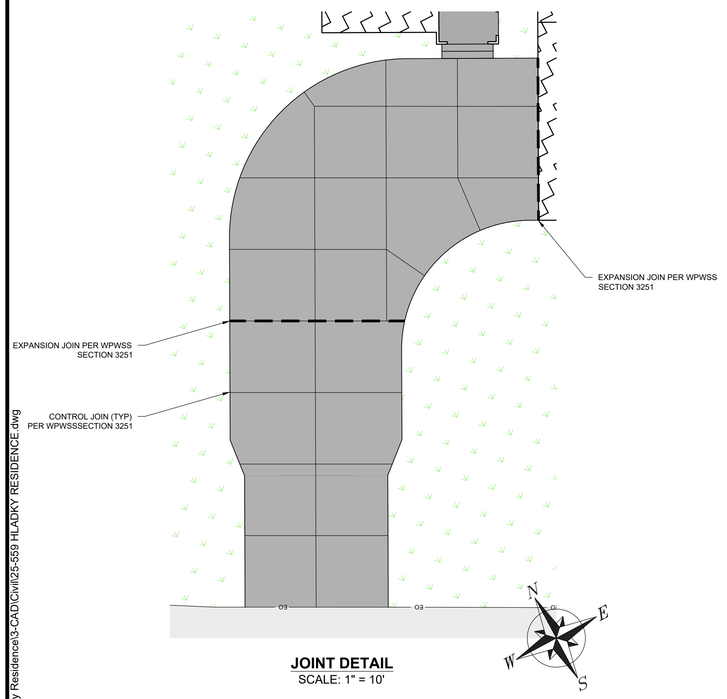
4" DEPTH CRUSHED ¾" MINUS
AGGREGATE LEVELING COURSE
COMPACTED TO 95% ASTM D698

SUBGRADE EARTH COMPACTED
TO 95% ASTM D698

GRADING LEGEND:

4710.5 MATCH	MATCH EXISTING
4710.5 PC	POINT OF CURVATURE
4710.5 TOC	TOP OF CONCRETE
4710.5 SWALE-TOP	TOP OF SWALE
4710.5 SWALE-BTM	BOTTOM OF SWALE
4710.5 TOP	TOP
4710.5 BTM	BOTTOM
4710.5 GRND	TOP OF GROUND/LANDSCAPE





JOINT DETAIL
SCALE: 1" = 10'

GRAPHIC SCALE
0 5' 10' 20'
(IN FEET)
1"=10' (24"x36")

Z:\Projects\00-2025 Projects\25-559 Hladky Residence\3-CAD\Civil\25-559 HLADKY RESIDENCE.dwg

bhinc.com

Stamp
Professional Engineer CIVIL
R. LUKE JOLLEY
13525
Date
WYOMING
8/13/2025

811 Know what's below. Call before you dig.

DRAWN BY	DESIGN BY	CHECK BY
MT	SVD	SVD

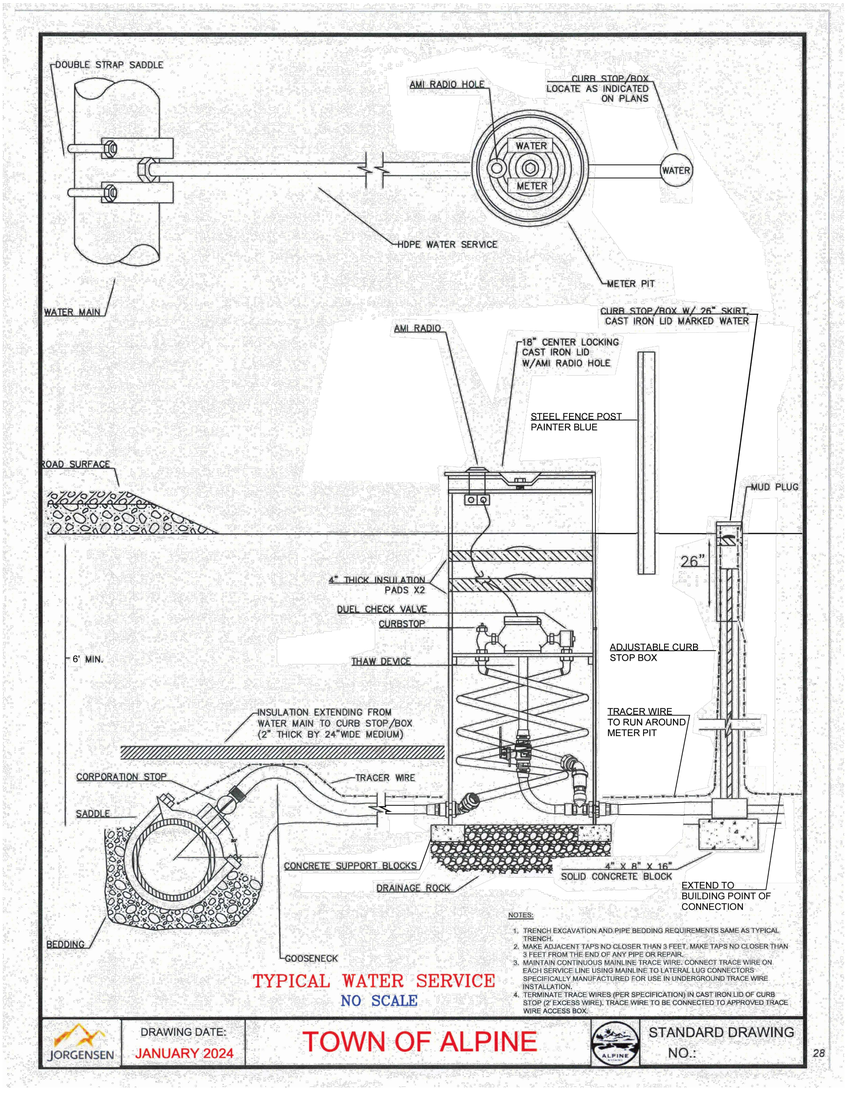
JOB NO: 2025-559

DATE: AUGUST 2025

REVISIONS	DATE

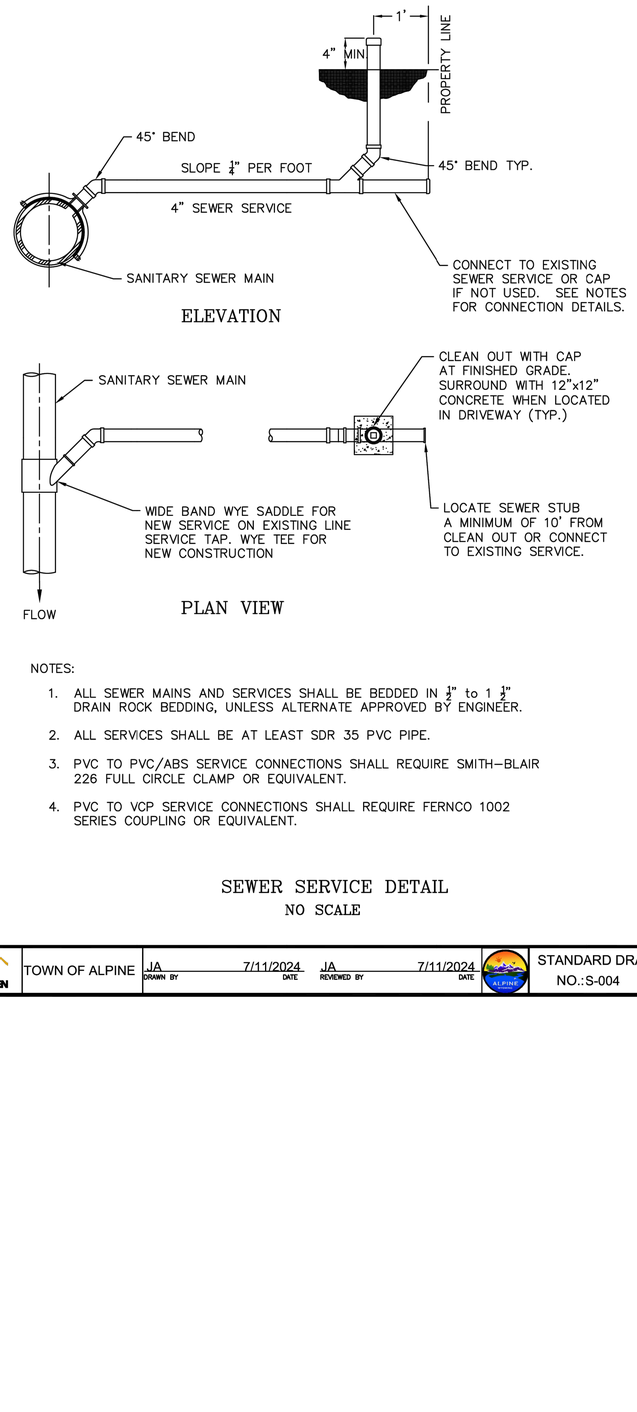
GRADING PLAN
HLADKY RESIDENCE
ALPINE, WYOMING

SHEET NO. 4 OF 5 SHEETS



TYPICAL WATER SERVICE
NO SCALE

JORGENSEN	DRAWING DATE: JANUARY 2024	TOWN OF ALPINE	STANDARD DRAWING NO.: 28



ELEVATION

PLAN VIEW

NOTES:

1. ALL SEWER MAINS AND SERVICES SHALL BE BEDDED IN ½" to 1 ½" DRAIN ROCK BEDDING, UNLESS ALTERNATE APPROVED BY ENGINEER.
2. ALL SERVICES SHALL BE AT LEAST SDR 35 PVC PIPE.
3. PVC TO PVC/ABS SERVICE CONNECTIONS SHALL REQUIRE SMITH–BLAIR 226 FULL CIRCLE CLAMP OR EQUIVALENT.
4. PVC TO VCP SERVICE CONNECTIONS SHALL REQUIRE FERNCO 1002 SERIES COUPLING OR EQUIVALENT.

SEWER SERVICE DETAIL
NO SCALE

JORGENSEN	TOWN OF ALPINE	JA 7/11/2024 DRAWN BY DATE	JA 7/11/2024 REVIEWED BY DATE	STANDARD DRAWING NO.:S-004

Stamp

Professional Engineer CLAY
TYLER LUKE JOLLEY
13625
Date
WYOMING
8/13/2025

Know what's below. Call before you dig.

DRAWN BY	DESIGN BY	CHECK BY
MT	SVD	SVD

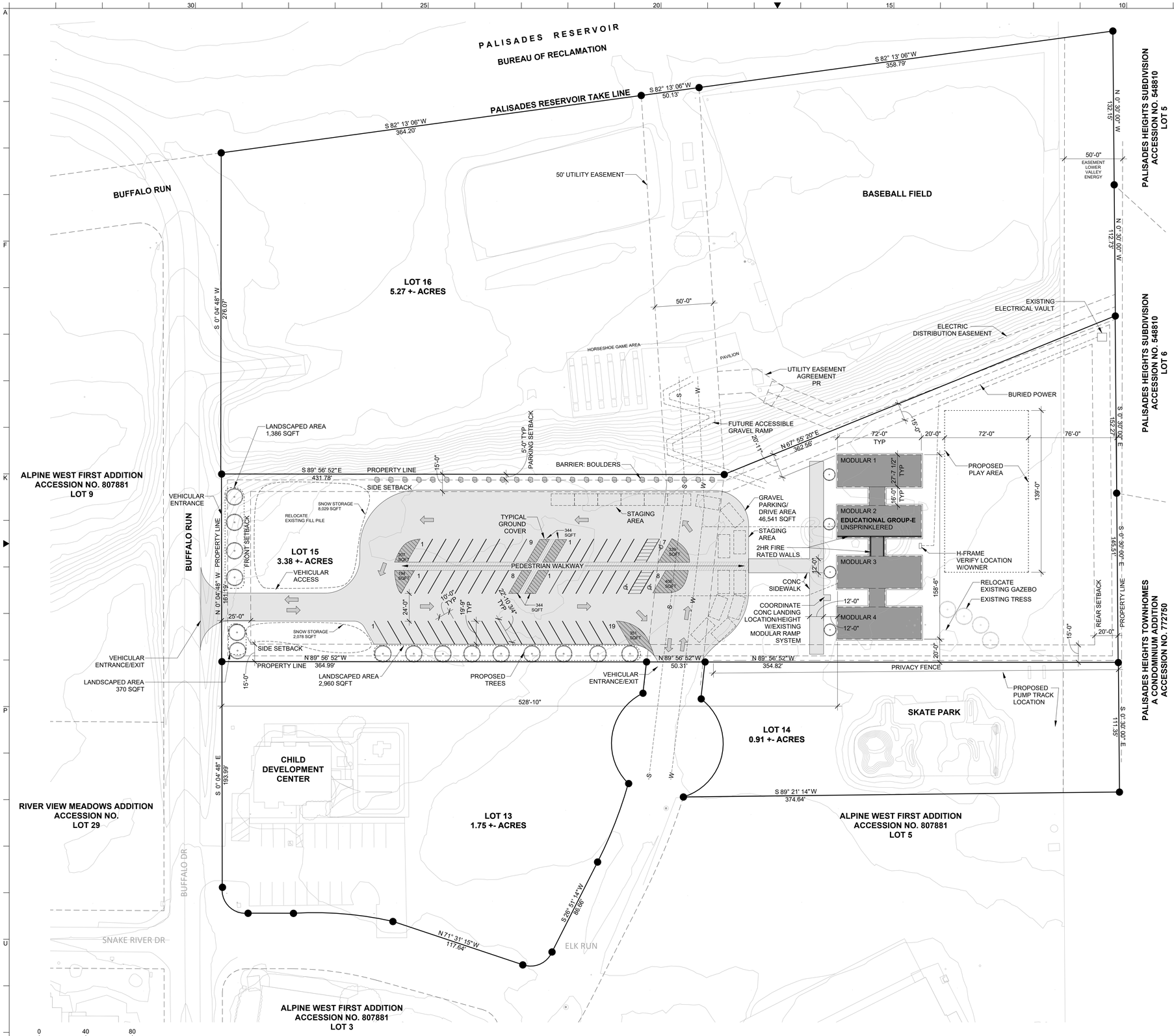
JOB NO: 2025-559
DATE: AUGUST 2025

REVISIONS	DATE

DETAILS
HLADKY RESIDENCE
ALPINE, WYOMING

SHEET NO. 5 OF 5 SHEETS

Z:\Projects\00-2025 Projects\25-559 Hladky Residence\3-CAD\Civil\25-559 HLADKY RESIDENCE.dwg



PLANNING & ZONING INFORMATION

PROJECT LOCATION:	LOT 15 ALPINE WEST THIRD ADDITION
LOT AREA:	3.38 ACRES +/-
RE-PLAT APPLICATION REQUIRED:	YES
PROJECT DESCRIPTION:	INSTALL MODULAR BUILDINGS, PARKING AREA, AND SITE IMPROVEMENTS FOR NEW CHARTER SCHOOL.
TOWN OF ALPINE ZONING:	PCF PUBLIC AND COMMUNITY FACILITIES DISTRICT ALLOWABLE USES INCLUDES PUBLIC SCHOOLS, EDUCATIONAL FACILITIES, AND RELATED ADMINISTRATIVE OFFICES.
TOWN OF ALPINE SPECIAL USE PERMIT REQUIRED:	YES
MINIMUM SETBACKS:	
FRONT YARD:	25 FEET
SIDE YARD:	15 FEET
REAR YARD:	20 FEET
PARKING SETBACK:	5 FEET
MAXIMUM BUILDING HEIGHT:	
BUILDING HEIGHT ALLOWABLE:	45 FEET / THREE STORIES
BUILDING HEIGHT PROPOSED:	15 FEET / ONE STORY
SNOW STORAGE CALCULATIONS:	
TOTAL DRIVE + PARKING AREA:	47,500 SQUARE FEET
SNOW STORAGE REQUIRED:	47,500 X 0.20 = 9,500 SQUARE FEET
SNOW STORAGE PROVIDED:	10,107 SQUARE FEET
PARKING LANDSCAPE AREA: (4-606, G.2)	
TOTAL PARKING AREA: (NOT INCLUDING DRIVE)	43,735 SQFT
GROUNDCOVER REQUIRED :	43,735 x 0.05 = 2,187 SQFT
GROUND COVER PROVIDED:	2,187 SQFT
LANDSCAPING REQUIREMENTS:	
LANDSCAPING REQUIRED:	10% OF LOT AREA LOT AREA (3.38 ACRES +/-) 147,233 SQFT +/- X 0.10 = 14,724 SQFT
LANDSCAPING PROVIDED:	14,724 SQFT MIN
PARKING REQUIREMENTS:	
NUMBER OF EMPLOYEES:	20
HIGH SCHOOL REQUIREMENT:	NO
TOTAL SPACES PROVIDED:	51

GRAPHIC LEGEND

- PROPOSED STRUCTURES AS NOTED
- GROUND COVER AT PARKING AREAS
- SNOW STORAGE
- CONCRETE SIDEWALK OR GRAVEL DRIVE AS NOTED
- LANDSCAPED AREAS: LANDSCAPED AND MAINTAINED WITH GRASSES, SHRUBS, AND/OR TREES
  PROVIDE PLANTING BEDS AT ALL TREES AND SHRUBS. PLANTING BEDS MULCHED WITH GROUND AND SHREDDED BARK OVER COMMERCIAL GRADE WEED LINER.
- POPULUS TREMULOIDES / QUAKING ASPEN 3'-4' CALIPER

NOTE:
1) VERIFY LOCATION OF ALL BURIED UTILITIES PRIOR TO CONSTRUCTION.
2) REFER TO CIVIL ENGINEERING AND ELECTRICAL ENGINEERING DRAWINGS FOR SITE UTILITY INFORMATION, GRADING, & DRAINAGE PLANS.

1 SP101 SITE PLAN
1" = 40'-0"

NORTH REF

alpine architectural studio

ALPINE, WY
ALPINE WEST THIRD ADDITION LOT-15
ALPINE EDUCATION FOUNDATION

TOA P&Z SITE PLAN

9.3.2025
DRAWN BY | BENNETT
CHECKED BY | BENNETT
REVISIONS

SITE PLAN

SP101

TOWN OF ALPINE, WYOMING
PROPERTY OWNER AUTHORIZATION FORM
Authorization to Act on Behalf of Property Owner

Property Owner Information

Owner Name(s): Town of Alpine Wyoming
Mailing Address: P.O. Box 3070
Alpine, WY 83128

Phone Number: 307-654-7757
Email Address: clerk@alpinewy.gov / planning@alpinewy.gov

Authorized Agent/Representative Information

I hereby authorize the individual or company listed below to act on my behalf in all matters related to the submission, processing, and management of building permit applications with the Town of Alpine, including responding to plan review comments, requesting inspections, and paying fees on my behalf.

Authorized Individual/Company Name: Alpine Educational Foundation Inc.
Representative's Name (if different): Meredith Leonard
Mailing Address: PO Box 3969, Alpine, wy 83128

Phone Number: (303) 981-8665
Email Address: meredith@alpineeducation.foundation

Project Information page

Project Address/Location: UNK
Legal Description (if known): Lots 10, 11, 12 of Alpine West Second Add
Type of Project: Charter school

Authorization and Acknowledgement

I certify that I am the legal owner of the property listed above and that I grant permission for the above-named representative to act as my agent in all matters relating to building permit applications and related processes for the project listed.

This authorization remains in effect until the completion of the project or until revoked in writing by the property owner.

Owner Signature: _____

Printed Name: Eric Gordon

Date: 8/11/25

For Office Use Only

Received by: _____

Date Received: 8/11/25

Permit/Application #: NA

R2-0001-25

Town of Alpine

R2 AND C BUILDING PERMIT APPLICATION

All applicants seeking a R2 or C Building Permit Application from the Town of Alpine, Wyoming, shall submit a complete application to the Town Planning Commission in accordance with the procedures set forth the Land Use and Development Code, including all required documentation demonstrating compliance with applicable zoning regulations and the Town's Comprehensive Plan.

Property Owner Information: Please fill out the information below for the legal property owner.

Full Name: RENDEZVOUS CUSTOM HOMES/JEFF JEPPSEN
Last First M.I.

Mailing Address: PO BOX 11911 JACKSON WY 83002
City State Zip

Email Address: jeff@rchjh.com Phone Number: 307-733-7477

Authorized Representative:

If the applicant is not the property owner, written authorization from the property owner must be attached to this application.

Project Description:

Legal Description: Lot 733 LAKEVIEW ESTATES
(Lot #, Block, Tract, & Subdivision)

Physical Address: 194 TRAIL DRIVE

Complete Description of Work: NEW 8-PLEX

Property Zoning District: MRC

Estimated Valuation of Work : 1.5 Million

Proposed Building Use: MULT-FAMILY

Floor Area:	5303	5227	—	—
	First Floor	Second Floor	Third Floor	Basement

Total Square Footage including Garage: 10,530

Contractors and/or Consultants: Add business license thing

Contractor: NEW PEAK CONSTRUCTION CO, LLC

Mailing Address: PO BOX 2285 LARAMIE WY 82073
City State Zip

Email Address: jared@newpeakcc.com Phone Number: 307-760-3204

Excavating Contractor: HORIZON LANDSCAPE

Mailing Address: 3978 S. 900 W DRIGGS ID 83422
City State Zip

Email Address: wade@horizonteton.com Phone Number: 307-413-2057

Electrical Contractor:

Mailing Address:
City State Zip

Email Address: Phone Number:

Plumbing Contractor: _____

Mailing Address: _____

City State Zip

Email Address: _____ Phone Number: _____

Mechanical Contractor: _____

Mailing Address: _____

City State Zip

Email Address: _____ Phone Number: _____

Project Engineer: CONNECT ENGINEERING

Mailing Address: 2295 N. YELLOWSTONE IDAHO FALL ID 83401

City State Zip

Email Address: tpayne@connectengr.com Phone Number: 208-881-0081

REQUIRED SUBMITTALS:

The following documents must be submitted with all residential building permit applications:

Site/Plot Plan: To Scale (Min. 18" x 24")

A scaled site or plot plan indicating:

- Location of proposed structures (building envelope)
- Distances from proposed structures to property lines (front, back, and sides)
- Proposed vehicular access
- Final grade of the project site
- Septic system or sewer connection location
- Water connection location
- All above- and below-ground utilities (e.g., power, propane)
- Easements, if applicable
- Garage square footage and driveway dimensions
- Setbacks
- Onsite drainage facilities
- Snow storage areas with dimensions (square footage)

Three (3) hard copies and one (1) digital copy are required.
Please refer to the permit checklist for complete details.

Construction Drawings: To Scale (Min. 2' x 3')

Three (3) complete sets of scaled construction drawings that illustrate:

- Foundation
- Floor plans
- Typical wall section
- Roof system
- Building elevations
- Exterior materials
- Electrical, plumbing, radon, and HVAC systems

All structures greater than 300 square feet must be designed, stamped, and certified by a civil or structural engineer licensed in the State of Wyoming.

One (1) digital copy of the full construction drawing set is also required.
Please refer to the permit checklist for additional specifications.

ADDITIONAL REQUIRED DOCUMENTS (To Scale if applicable)

- **Three (3)** sets of any other construction documents or related materials the applicant deems relevant.
- All submitted documents must be stamped and certified by a **civil or structural engineer** if related to structures greater than 300 square feet.
- **One (1)** complete digital copy of all submitted materials, including the site plan and construction drawings, must be provided. This digital file is for internal use only and will not be shared with third parties in accordance with copyright guidelines.
- **One (1)** Digital Calculations Packet

By signing below as the Property Owner or an Authorized Representative, I hereby certify that all information provided in this Special Use Permit application is true, accurate, and complete to the best of my knowledge. I acknowledge that any false or misleading information may result in delays, denial, or revocation of the permit.

Signature: _____

Printed Name: JARED KILLPACK

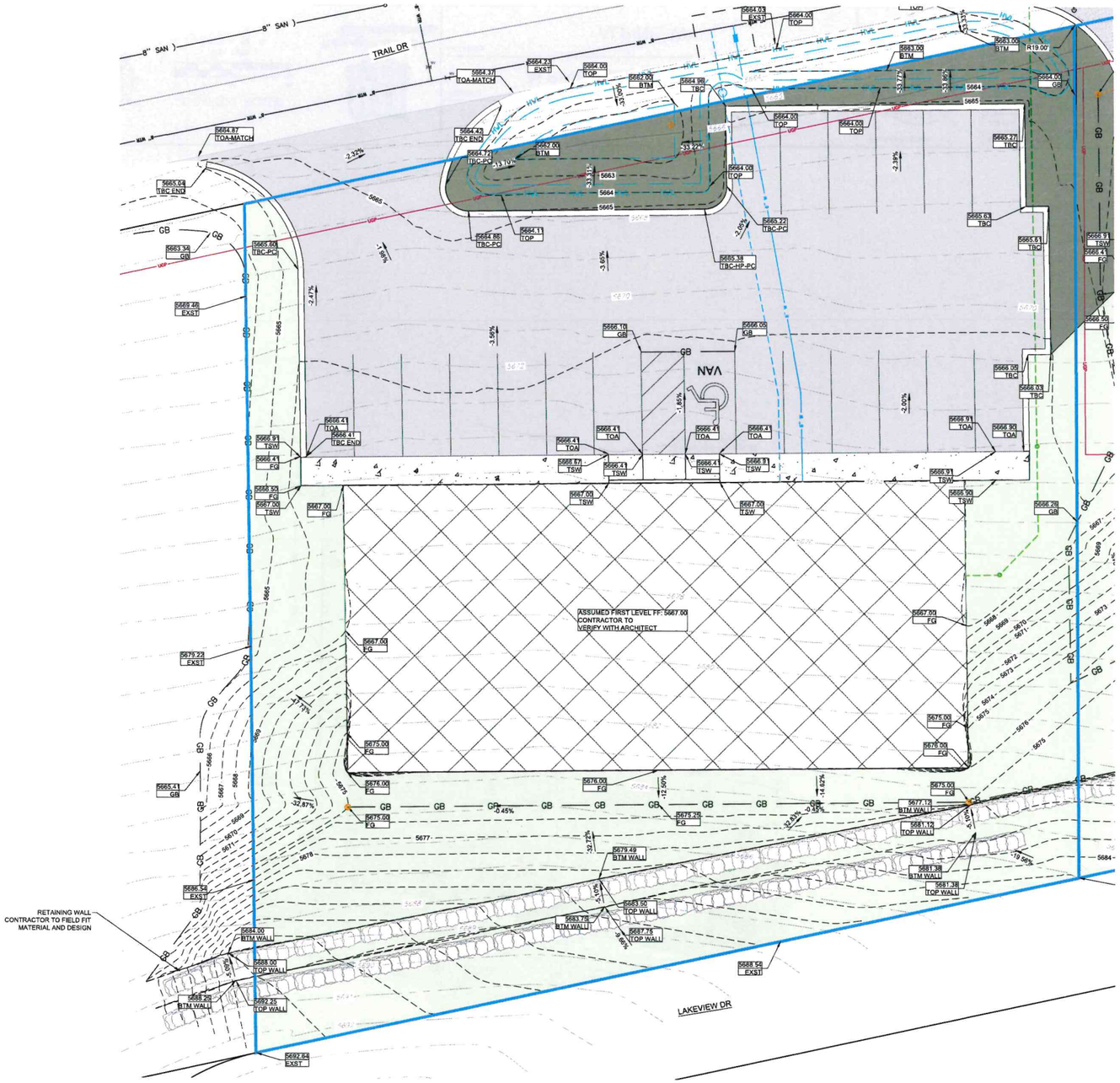
Title/Relationship to Property (if applicable): MEMBER

Date: 9/3/25

Following Submission, the Process Is as Follows:

- The applicant submits a **fully completed Residential Building Permit Application** along with all required documents and applicable fees to the **Zoning Administrator** for initial review.
- The Zoning Administrator conducts a **completeness and compliance review** of the application and accompanying site plan. The site plan is then submitted to the **Planning and Zoning Commission** for evaluation at a public meeting.
- The Planning and Zoning Commission will **approve or deny** the proposed site plan. If denied, the applicant may appeal the decision to the **Alpine Town Council** pursuant to the procedures outlined in **Part 5 – Appeals & Enforcement** of the Land Use and Development Code.
- If approved, the Zoning Administrator then submits the full building permit application, including all required construction documents, to the **Building Official** for technical review.
- The Building Official will review the submitted plans for structural, mechanical, electrical, and code compliance. The application will be **approved or denied** based on this review. If denied, the applicant has the right to appeal the decision to the Town Council.
- Upon approval by the Building Official, the **building permit will be issued.**
- Once construction begins, **required inspections** must be scheduled and completed in the following phases:
  - **Site Work & Foundation**
  - **Building, Framing, Plumbing, HVAC, Electrical & Mechanical Systems**
  - **Final Inspection upon Completion of the Building**
- Following completion of the Site Work, Foundation, & Mechanical inspection, the applicant must submit a **Certificate of Placement**.
- Upon final approval of all inspections, the **Certificate of Occupancy** will be:
  - Authorized by the Building Official
  - Prepared by the Zoning Administrator
  - Issued by the **Town Clerk**

Construction may not begin until the building permit is issued.
Occupancy is not permitted until a Certificate of Occupancy is officially issued.



GENERAL NOTES

1. REFER TO ALPINE POWER CONTRACTOR MAP FOR ELECTRICAL INFRASTRUCTURE LAYOUT.
2. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONNECTING ANY PROPOSED UTILITIES.
3. ENSURE 10' MINIMUM HORIZONTAL CLEARANCE BETWEEN ALL POTABLE AND NON-POTABLE LINES ARE MET PER WDEQ AND TOWN OF ALPINE STANDARDS. IF MANHOLES ARE IN AN ASPHALT PAVED AREA THE COLLARS ARE TO BE ASPHALT COLLARS.
4. ENSURE 18" MINIMUM VERTICAL CLEARANCE BETWEEN ALL POTABLE AND NON-POTABLE LINES ARE MET PER WDEQ AND TOWN OF ALPINE STANDARDS.
5. ALL PERMITTING REQUIRED TO BE OBTAINED BY CONTRACTOR OR OWNER. ALL PERMITS OBTAINED NOT ISSUED BY THE CITY WILL NEED TO BE PROVIDED TO THE CITY FOR THEIR RECORDS
6. CONTRACTOR OR ARCHITECT TO ENSURE PROPER CONCRETE STEM WALL OR EQUIVALENT HEIGHT OF 6" MINIMUM REVEAL ON ALL BUILDINGS.

DRAWN BY	CHECK BY
JJB	TKP

REVISIONS	DATE

GRAPHIC SCALE
0 5 10 20
(IN FEET)
1 inch = 10 ft

Know what's below. Call before you dig.

SHEET NAME: GRADING PLAN LOT 733

PROJECT: ALPINE EMPLOYEE HOUSING

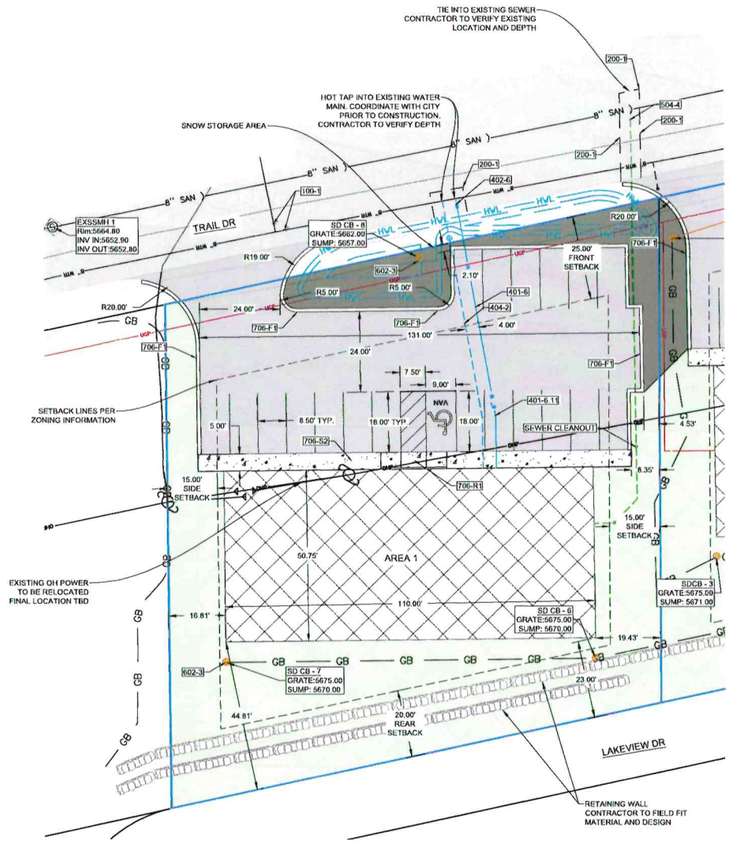
LOCATION: ALPINE, WY

ENGINEERS STAMP
Professional Engineer
TRAVIS PAYNE
21075
9/3/2025
WYOMING

SHEET INFORMATION	
JOB NO:	2024-083
DATE:	September 3, 2025
SHEET SIZE:	24" X 36" (ARCH D)
VERTICAL EXAGGERATION:	N/A

PROJECT CONTACT:
JOSH BALL AND TRAVIS PAYNE
CONNECT ENGINEERING
208-881-0081

SHEET C-06 OF C-09 SHEETS



SEE SHEET 3 FOR MORE INFORMATION

100-1	RETAIN AND PROT
200-1	SAWCUT REMOVAL AND REPAIR
401-6	6" FIRE SERVICE LINE
401-6.11	6" 11.25° BEND ELBOW
402-6	6" WATER MAIN VALVE
404-2	2" WATER SERVICE
504-4	4" SEWER SERVICE
602-3	INFILTRATION STRUCTURE
706-F1	FLUSH CURB
706-H1	PEDESTRIAN RAMP
706-S2	INTEGRAL CONCRETE SIDEWALK

SEE SHEET 3 FOR MORE INFORMATION

BASIS OF BEARING

BASIS OF BEARING PER WYOMING STATE PLANE COORDINATE SYSTEM-WEST ZONE.
GPS OBSERVATION COMBINED FACTOR: 1.002597853

NAD83(2011)(EPOCH:2010)(GEOID18)
PROJECT LOCATION: N43°09'36.3844" W111°01'23.73884"

SURVEY NOTE:

A FIELD SURVEY HAS **NOT** BEEN PERFORMED BY A WYOMING LICENSED LAND SURVEYOR IN CONJUNCTION WITH THE DEVELOPMENT OF THIS SITE PLAN. ALL PROPERTY LINES SHOWN HEREON ARE BASED ON RECORDED PROPERTY BOUNDARY INFORMATION COMPILED BY THE AUTHOR OF THIS DOCUMENT.

IT IS THE OWNER'S/DEVELOPER'S RESPONSIBILITY TO FIND AND SHOW THE POSITION OF ALL RELEVANT PROPERTY BOUNDARIES THAT PERTAIN TO THE LOCATION OF OBJECTS TO BE CONSTRUCTED IN CONJUNCTION WITH THIS SITE PLAN. IT IS THE OWNER'S/DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ANY STRUCTURES PROPOSED TO BE CONSTRUCTED ON THIS SITE WILL CONFORM TO ALL OF THE DIMENSIONS DICTATING THEIR RELATIVE POSITIONS, AS SHOWN ON THIS SITE PLAN. THE TOWN OF ALPINE DOES NOT CHECK FOR, OR WARRANT AGAINST, ANY ENCROACHMENTS OR IMPROPER SETBACKS CREATED BY STRUCTURES OR BOUNDARIES THAT ARE INCORRECTLY SHOWN ON THIS SITE PLAN.

SITE INFORMATION

PARCEL ZONING: MRC
BUILDINGS PROPOSED USE: MULTI FAMILY RESIDENTIAL
BUILDINGS WILL HAVE FIRE SPRINKLER SYSTEMS
TOTAL BUILDINGS: 1
- IBC CONSTRUCTION TYPE: B
- HEIGHT: 30.6'
- TOTAL AREA: 10,530 SQ.FT.

TOTAL AREA: 21,944 SQ. FT. (0.504 ACRES)
TOTAL LANDSCAPING REQUIRED: 2,194 SQ. FT. (10%)
TOTAL LANDSCAPING PROVIDED: 6,291 SQ. FT. (28.72%)
TOTAL CALCULATED ASPHALT: 5,665 SQ. FT.
TOTAL SNOW STORAGE AREA: 1,409 SF

LIGHTING

NO LIGHTING PLAN PROVIDED AT THIS TIME.

PROPOSED PARKING

LOT 733:
- REQUIRED: 16 (2 STALLS PER UNIT)
- PROVIDED: 20 (2 ADA TOTAL WITH 2 VAN ADA)(1 STALL PER 25 PARKING SPACES)

*ANY CHANGE OF USE FOR HIGHER INTENSITY USES SUCH AS, BUT NOT LIMITED TO, EATING/DRINKING ESTABLISHMENTS, CLUBS, OR INDOOR AMUSEMENT CENTERS WILL REQUIRE PROPER ACCOMMODATIONS IN PARKING AND MAY REQUIRE ADDITIONAL PARKING STALLS

SNOW STORAGE [redacted]

LOT 732 ASPHALT AREA: 6,838 SQ. FT.
- REQUIRED: 1,368 SQ. FT. (20.00% OF ASPHALT AREA)
- PROVIDED: 1,408 SQ. FT. (20.6%)

GENERAL NOTES

1. REFER TO ALPINE POWER CONTRACTOR MAP FOR ELECTRICAL INFRASTRUCTURE LAYOUT.
2. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONNECTING ANY PROPOSED UTILITIES.
3. ENSURE 10' MINIMUM HORIZONTAL CLEARANCE BETWEEN ALL POTABLE AND NON-POTABLE LINES ARE MET PER WDEQ AND TOWN OF ALPINE STANDARDS. IF MANHOLES ARE IN AN ASPHALT PAVED AREA THE COLLARS ARE TO BE ASPHALT COLLARS.
4. ENSURE 18" MINIMUM VERTICAL CLEARANCE BETWEEN ALL POTABLE AND NON-POTABLE LINES ARE MET PER WDEQ AND TOWN OF ALPINE STANDARDS.
5. ALL PERMITTING REQUIRED TO BE OBTAINED BY CONTRACTOR OR OWNER. ALL PERMITS OBTAINED NOT ISSUED BY THE CITY WILL NEED TO BE PROVIDED TO THE CITY FOR THEIR RECORDS.
6. CONTRACTOR OR ARCHITECT TO ENSURE PROPER CONCRETE STEM WALL OR EQUIVALENT HEIGHT OF 8" MINIMUM REVEAL ON ALL BUILDINGS.

STORM WATER MANAGEMENT NOTE:

ALL STORM WATER RETENTION STORAGE, SUMP STORAGE, AND GROUNDWATER RECHARGE AREAS SHALL BE DESIGNED TO CONTAIN THE ESTIMATED RUNOFF FORM A TEN (10) YEAR, TWENTY-FOUR (24) HR STORM EVENT.

WATER RETENTION AREA BOUNDARY

STORM WATER INFORMATION FOR AREA 1		
REQUIRED STORAGE		
STORM WATER AREA	WATERSHED AREA (SQ. FT.)	REQUIRED VOLUME (CU. FT.) Q=CiA in 95 in.
AREA 1	21,866	1039
PROPOSED STORAGE		
POND VOLUME (CF)	STORM TECH VOLUME (CF)	TOTAL
420	619	20.000

REQUIRED STORM WATER TO RETAIN ON SITE WAS CALCULATED USING THE FOLLOWING VALUES (RATIONAL METHOD)

C (WEIGHTED) = 0.60
INTENSITY (I) = 0.95 in/day (0.04 in/hr)
AREA (A) = 21,866 sf
Q = CiA = 1039 cu. ft.

DRAWN BY: JJB	CHECK BY: TKP	
REVISIONS	DATE	

GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

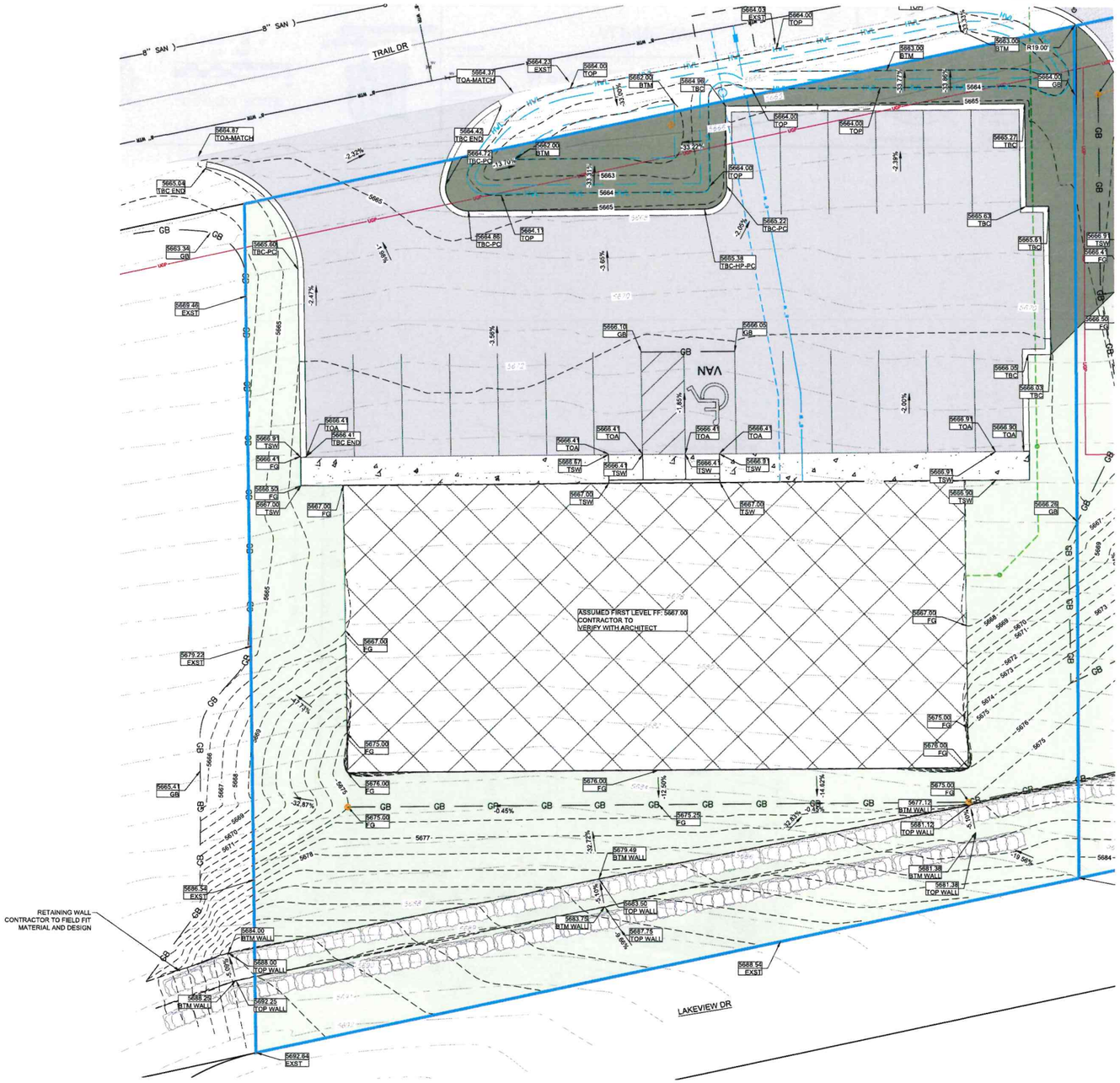
Know what's below. Call before you dig.

SHEET NAME: SITE OVERVIEW LOT 733
PROJECT: ALPINE EMPLOYEE HOUSING
LOCATION: ALPINE, WY

ENGINEERS STAMP: Professional Engineer, TRAVIS PAYNE, 21075, WYOMING, 9/3/2025

SHEET INFORMATION
- JOB NO: 2024-083
- DATE: September 3, 2025
- SHEET SIZE: 24" X 36" (ARCH D)
- VERTICAL EXAGGERATION: N/A
- PROJECT CONTACT: JOSH BALL AND TRAVIS PAYNE, CONNECT ENGINEERING, 208-881-0081

SHEET C-05 OF C-09 SHEETS



GENERAL NOTES

1. REFER TO ALPINE POWER CONTRACTOR MAP FOR ELECTRICAL INFRASTRUCTURE LAYOUT.
2. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONNECTING ANY PROPOSED UTILITIES.
3. ENSURE 10' MINIMUM HORIZONTAL CLEARANCE BETWEEN ALL POTABLE AND NON-POTABLE LINES ARE MET PER WDEQ AND TOWN OF ALPINE STANDARDS. IF MANHOLES ARE IN AN ASPHALT PAVED AREA THE COLLARS ARE TO BE ASPHALT COLLARS.
4. ENSURE 18" MINIMUM VERTICAL CLEARANCE BETWEEN ALL POTABLE AND NON-POTABLE LINES ARE MET PER WDEQ AND TOWN OF ALPINE STANDARDS.
5. ALL PERMITTING REQUIRED TO BE OBTAINED BY CONTRACTOR OR OWNER. ALL PERMITS OBTAINED NOT ISSUED BY THE CITY WILL NEED TO BE PROVIDED TO THE CITY FOR THEIR RECORDS
6. CONTRACTOR OR ARCHITECT TO ENSURE PROPER CONCRETE STEM WALL OR EQUIVALENT HEIGHT OF 6" MINIMUM REVEAL ON ALL BUILDINGS.

DRAWN BY	CHECK BY
JJB	TKP

REVISIONS	DATE

GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft

Know what's below. Call before you dig.

SHEET NAME: GRADING PLAN LOT 733

PROJECT: ALPINE EMPLOYEE HOUSING

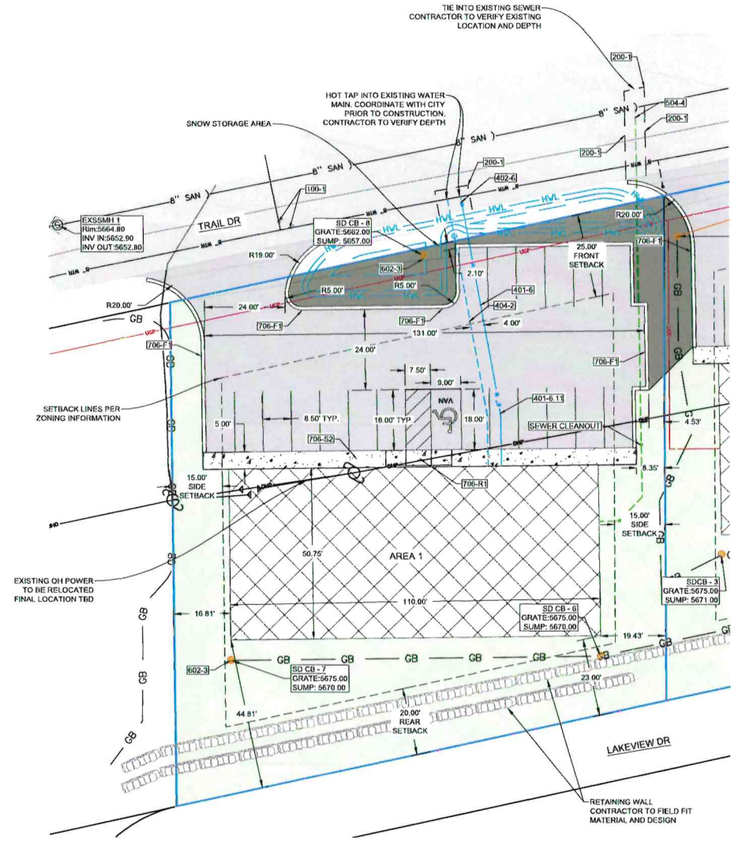
LOCATION: ALPINE, WY

ENGINEERS STAMP
Professional Engineer
TRAVIS PAYNE
21075
Exp 9/30/2025
WYOMING

SHEET INFORMATION
JOB NO: 2024-083
DATE: September 3, 2025
SHEET SIZE: 24" X 36" (ARCH D)
VERTICAL EXAGGERATION: N/A

PROJECT CONTACT:
JOSH BALL AND TRAVIS PAYNE
CONNECT ENGINEERING
208-881-0081

SHEET
C-06
OF
C-09
SHEETS



SEE SHEET 3 FOR MORE INFORMATION
100-1 RETAIN AND PROTECT
200-1 SAWCUT REMOVAL AND REPAIR
401-6 6" FIRE SERVICE LINE
401-6.11 6" 11.25° BEND ELBOW
402-6 6" WATER MAIN VALVE
404-2 2" WATER SERVICE
504-4 4" SEWER SERVICE
602-3 INFILTRATION STRUCTURE
706-F1 FLUSH CURB
706-R1 PEDESTRIAN RAMP
706-S2 INTEGRAL CONCRETE SIDEWALK
SEE SHEET 3 FOR MORE INFORMATION

BASIS OF BEARING

BASIS OF BEARING PER WYOMING STATE PLANE COORDINATE SYSTEM-WEST ZONE.
GPS OBSERVATION COMBINED FACTOR: 1.002597853

NAD83(2011)(EPOCH:2010)(GEOID18)
PROJECT LOCATION: N43°09'36.3844" W111°01'23.73684"

SURVEY NOTE:

A *FIELD SURVEY* HAS **NOT** BEEN PERFORMED BY A WYOMING LICENSED LAND SURVEYOR IN CONJUNCTION WITH THE DEVELOPMENT OF THIS SITE PLAN. ALL PROPERTY LINES SHOWN HEREON ARE BASED ON RECORDED PROPERTY BOUNDARY INFORMATION COMPILED BY THE AUTHOR OF THIS DOCUMENT.

IT IS THE OWNER'S/DEVELOPER'S RESPONSIBILITY TO FIND AND SHOW THE POSITION OF ALL RELEVANT PROPERTY BOUNDARIES THAT PERTAIN TO THE LOCATION OF OBJECTS TO BE CONSTRUCTED IN CONJUNCTION WITH THIS SITE PLAN. IT IS THE OWNER'S/DEVELOPER'S RESPONSIBILITY TO ENSURE THAT ANY STRUCTURES PROPOSED TO BE CONSTRUCTED ON THIS SITE WILL CONFORM TO ALL OF THE DIMENSIONS DICTATING THEIR RELATIVE POSITIONS, AS SHOWN ON THIS SITE PLAN. THE TOWN OF ALPINE DOES NOT CHECK FOR, OR WARRANT AGAINST, ANY ENCROACHMENTS OR IMPROPER SETBACKS CREATED BY STRUCTURES OR BOUNDARIES THAT ARE INCORRECTLY SHOWN ON THIS SITE PLAN.

SITE INFORMATION

PARCEL ZONING: MRC
BUILDINGS PROPOSED USE: MULTI FAMILY RESIDENTIAL
BUILDINGS WILL HAVE FIRE SPRINKLER SYSTEMS
TOTAL BUILDINGS: 1
IBC CONSTRUCTION TYPE: II
HEIGHT: 30.6'
TOTAL AREA: 10,530 SQ.FT.
TOTAL AREA: 21,944 SQ. FT. (0.504 ACRES)
TOTAL LANDSCAPING REQUIRED: 2,194 SQ. FT. (10%)
TOTAL LANDSCAPING PROVIDED: 6,291 SQ. FT. (28.72%)
TOTAL CALCULATED ASPHALT: 5,655 SQ. FT.
TOTAL SNOW STORAGE AREA: 1,409 SF

LIGHTING

NO LIGHTING PLAN PROVIDED AT THIS TIME.

PROPOSED PARKING

LOT 733:
REQUIRED: 16 (2 STALLS PER UNIT)
PROVIDED: 20 (2 ADA TOTAL WITH 2 VAN ADA)(1 STALL PER 25 PARKING SPACES)

*ANY CHANGE OF USE FOR HIGHER INTENSITY USES SUCH AS, BUT NOT LIMITED TO, EATING/DRINKING ESTABLISHMENTS, CLUBS, OR INDOOR AMUSEMENT CENTERS WILL REQUIRE PROPER ACCOMMODATIONS IN PARKING AND MAY REQUIRE ADDITIONAL PARKING STALLS

SNOW STORAGE

LOT 732 ASPHALT AREA: 6,836 SQ. FT.
REQUIRED: 1,368 SQ. FT. (20.00% OF ASPHALT AREA)
PROVIDED: 1,408 SQ. FT. (20.6%)

GENERAL NOTES

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6. CONTRACTOR OR ARCHITECT TO ENSURE PROPER CONCRETE STEM WALL OR EQUIVALENT HEIGHT OF 8" MINIMUM REVEAL ON ALL BUILDINGS.

STORM WATER MANAGEMENT NOTE:

ALL STORM WATER RETENTION STORAGE, SUMP STORAGE, AND GROUNDWATER RECHARGE AREAS SHALL BE DESIGNED TO CONTAIN THE ESTIMATED RUNOFF FORM A TEN (10) YEAR, TWENTY-FOUR (24) HR STORM EVENT.

WATER RETENTION AREA BOUNDARY

STORM WATER INFORMATION FOR AREA 1		
REQUIRED STORAGE		
STORM WATER AREA	WATERSHED AREA (SQ. FT.)	REQUIRED VOLUME (CU. FT.) Q=CiA /= 85 in.
AREA 1	21,866	1039
PROPOSED STORAGE		
POND VOLUME (CF)	STORM TECH VOLUME (CF)	TOTAL
420	619	20,000

REQUIRED STORM WATER TO RETAIN ON SITE WAS CALCULATED USING THE FOLLOWING VALUES (RATIONAL METHOD)

C (WEIGHTED) = 0.60
INTENSITY (I) = 0.95 in/day (0.04 in/hr)
AREA (A) = 21,866 sf
Q = CiA = 1039 cu. ft.

DRAWN BY	CHECK BY
JJB	TKP

REVISIONS	DATE

GRAPHIC SCALE
0 5 10 20
(IN FEET)
1 inch = 10 ft.

Know what's below. Call before you dig.

SHEET NAME: SITE OVERVIEW LOT 733
PROJECT: ALPINE EMPLOYEE HOUSING
LOCATION: ALPINE, WY

ENGINEERS STAMP
Professional Engineer TRAVIS PAYNE 21075 WYOMING 9/3/2025

SHEET INFORMATION	
JOB NO:	2024-083
DATE:	September 3, 2025
SHEET SIZE:	24" X 36" (ARCH D)
VERTICAL EXAGGERATION:	N/A
PROJECT CONTACT:	JOSH BALL AND TRAVIS PAYNE CONNECT ENGINEERING 208-881-0081

SHEET C-05 OF C-09 SHEETS

PLANNING & ZONING MEETING MINUTES

August 12, 2025. at 7:00 PM

Meeting Type - Regular Meeting

DRAFT

1.) Call to Order
Chairman Wilson- August 12, 2025, 7:01 p.m.

2.) Roll Call and Establish a Quorum

- Present: Rachel Stewart – Vice Chairman, Melissa Wilson – Chairman, and Dan Schou – Commission Member.
    - Quorum Established

3.) Tonight's Appointments / New Business

a.) BENNETT, BRETT, AND META – Lot #27, Grace River Village, Single-family Remodel (Garage Dimension Adjustment)

- Minor garage dimension change from ~27 ft to 28 ft; remains within setback.
- Discussion about creating a "boundary adjustment" process for hardship setback cases.
    - Motion: Commission Member Scow to approve revised site plan for Lot 27, seconded by Vice Chairman Stewart.
        - Voting Yea: Commission Member Scow, Vice Chairman Stewart, & Chairman Wilson.
            - None Opposed. Motion Passes.

b.) PANTONE, ANNA Lot #40 of Forest Meadow. 504 Three Rivers Dr. (G-0725-0001)- New detached garage/accessory building

- Proposal for 1,200 sq. ft. detached garage with RV storage. No water service; within setbacks. Snow storage location to be shown on site plan.
    - Motion: Vice Chairman Stewart to approve, contingent on snow storage location being added, seconded by Commission Member Scow.
        - Voting Yea: Commission Member Scow, Vice Chairman Stewart, & Chairman Wilson.
            - None Opposed. Motion Passes.

c.) NORTH LINCOLN COUNTY HOSPITAL, DBA STAR VALLEY HEALTH- 37 WINTERGREEN DRIVE, LOT #189 OF ALPINE MEADOWS-Installation of a Helipad.

- Temporary asphalt helipad for up to 12 months; permanent heated concrete pad to follow.
- FAA intermittent use guidelines met; HOA approval obtained. Temporary lighting during operations; permanent site will have switch-activated lighting.
    - Motion: Commission Member Scow to approve site plan for temporary helipad, contingent on submission of engineered drawings, seconded by Vice Chairman Stewart.
        - Voting Yea: Commission Member Scow, Vice Chairman Stewart, & Chairman Wilson.
            - None Opposed. Motion Passes.

4.) Tabled Items- None

5.) Discussion Items

a) Alpine Education Foundation – Charter School Site Plan Concept

- Proposed K–6 modular school on leased town property (5-year lease). Includes play area, parking, dual access points, cul-de-sac adjustment, and traffic study.
- Feedback: confirm utilities, designate frontage for setbacks, plan snow storage, drainage, and fencing.
    - No Formal Action Taken – Concept review only.

b.) Updating to the 2024 International Codes- Building Code Adoption Process

- Proposal to consolidate six separate code adoption ordinances into one document with exceptions.
- Discussed staggered release dates of code updates; agreed to remove the proposed six-month grace period for old codes.
- Consensus to provide public notice before changes take effect.
    - No Formal Action Taken – Staff to revise proposal and return.

c.) Trash Containment Ordinance Proposal

- Proposed requirement for construction sites to have designated trash containers.
- Consensus toward creating a separate ordinance for enforcement.
    - No Formal Action Taken – Staff to draft ordinance

d.) Planning & Zoning vs. Building Department Structure

- Consideration of separating departments.
- Consensus to maintain a combined structure for clarity, reduce redundancy, and avoid conflicting codes.
    - No Formal Action Taken – Staff to review and make a proposal to the Commission.

6.) Planning and Zoning Correspondence- None

7.) Approval of Minutes – July 8, 2025

a. Motion: Vice Chairman Stewart to approve, contingent on snow storage location being added, seconded by Commission Member Scow.
    i. Voting Yea: Commission Member Scow, Vice Chairman Stewart, & Chairman Wilson.
        1. None Opposed. Motion Passes.

8.) Town Council Assignment

a. Rachael Stewart

9.) Adjourn Meeting

- Motion: Commission Member Scow to Adjourn, seconded by Vice Chairman Stewart.
    - Voting Yea: Commission Member Scow, Vice Chairman Stewart, & Chairman Wilson.
        - None Opposed. Motion Passes.

Melisa Wilson, Chairman Date

Gina Corson, Acting Planning & Zoning Administrator Date

Prepared and Transcribed By:

Gina Corson, Acting Planning & Zoning Administrator Date

** Minutes are a summary of the meeting **

PLANNING & ZONING MEETING MINUTES

July 31, 2025, at 6:00 PM

Meeting Type – Work Session

DRAFT

1. Call to order:
    a. July 31, 2025, 6:09 p.m.

2. Roll Call:
    a. Present

    - Rachel Stewart- Vice Chairman, Melissa Wilson- Chairman, and Dan Schou- Commission Member, were present.

3. Adopt agenda:
    a. July 31, 2025, Work Session
        i. Motion made by Commission Member Schou to approve the agenda, seconded by Vice Chairman Stewart.
            1. Voting Yea: Commission Member Schou, Vice Chairman Stewart, & Chairman Wilson.
                a. None Opposed, Motion Passes.

4. Tonight's Work Session Items:
    a. Land Use Development Code Updates or additions.

5. Adjourn Meeting: 8:20 PM
    a. Motion to Adjourn made by Commission Member Schou, seconded by Vice Chairman Stewart.
        i. Voting Yea: Commission Member Schou, Vice Chairman Stewart, & Chairman Wilson.
            1. None Opposed, Motion Passes.

_____ _____

Melisa Wilson, Chairman Date

Attest:

_____ _____

PLANNING & ZONING MEETING MINUTES

July 31, 2025, at 6:00 PM

Meeting Type – Work Session

DRAFT

Gina Corson, Acting Planning & Zoning Administrator Date

Prepared and Transcribed By:

_____ _____

Gina Corson, Acting Planning & Zoning Administrator Date

** Minutes are a summary of the meeting **